

33 DAVISVILLE/60 BALLIOL

TORONTO, ONTARIO

CLIENT:

OGDC

Toronto, Ontario

ARCHITECT:

WALLMAN ARCHITECTS

117 Peter Street, Suite 208, Toronto, Ontario, M5V 0M3

ISSUED FOR ZBA:

SEPTEMBER 29, 2023

DRAWING LIST	
Sheet Number	Sheet Name
A0.00	COVER SHEET & DRAWING LIST
A0.02	LEGAL SURVEY
A0.03	STATISTICS
A1.00	CONTEXT PLAN
A1.01	SITE PLAN - ROOF
A1.01a	SITE PLAN - GROUND FLOOR
A1.06	MANOEUVERING DIAGRAMS -1
A1.07	MANOEUVERING DIAGRAMS -2
A1.08	WASTE MANAGEMENT
A2.00	PARKING LEVEL 3
A2.01	PARKING LEVEL 2
A2.02	PARKING LEVEL 1
A2.03	LEVEL 01 FLOOR PLAN
A2.04	LEVEL 02 FLOOR PLAN
A2.05	LEVEL 03 - 04 FLOOR PLAN
A2.06	LEVEL 05 FLOOR PLAN
A2.07	LEVEL 06 FLOOR PLAN
A2.08	LEVEL 07 - 19, 22 - 23 FLOOR PLAN
A2.09	LEVEL 20-21 FLOOR PLAN
A2.10	LEVEL 24-40 FLOOR PLAN
A2.11	MPH FLOOR PLAN
A2.12	ROOF PLAN
A3.01	NORTH & EAST ELEVATION
A3.02	SOUTH & WEST ELEVATION
A4.01	SECTION A-A & B-B
A6.01a	SHADOW STUDIES MARCH - SEPTEMBER
A6.01b	SHADOW STUDIES MARCH - SEPTEMBER
A6.02a	SHADOW STUDIES JUNE
A6.02b	SHADOW STUDIES JUNE



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No	Issued For	Date (YYYY/MM/DD)
1	ISSUED FOR ZBA/SPA	2022-06-03
2	ISSUED FOR ZBA	2023-09-29

WALLMAN ARCHITECTS

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Drawing Title

COVER SHEET & DRAWING LIST

Client

OGDC

Project

33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

Scale

Drawn by

Checked by

Project No.

21-17

Date

Drawing No.

A0.00

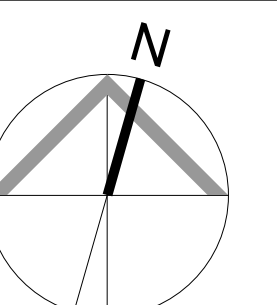


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Drawing Title

CONTEXT PLAN

Client

OGDC

Project

33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

1 : 2000 Scale

Drawn by

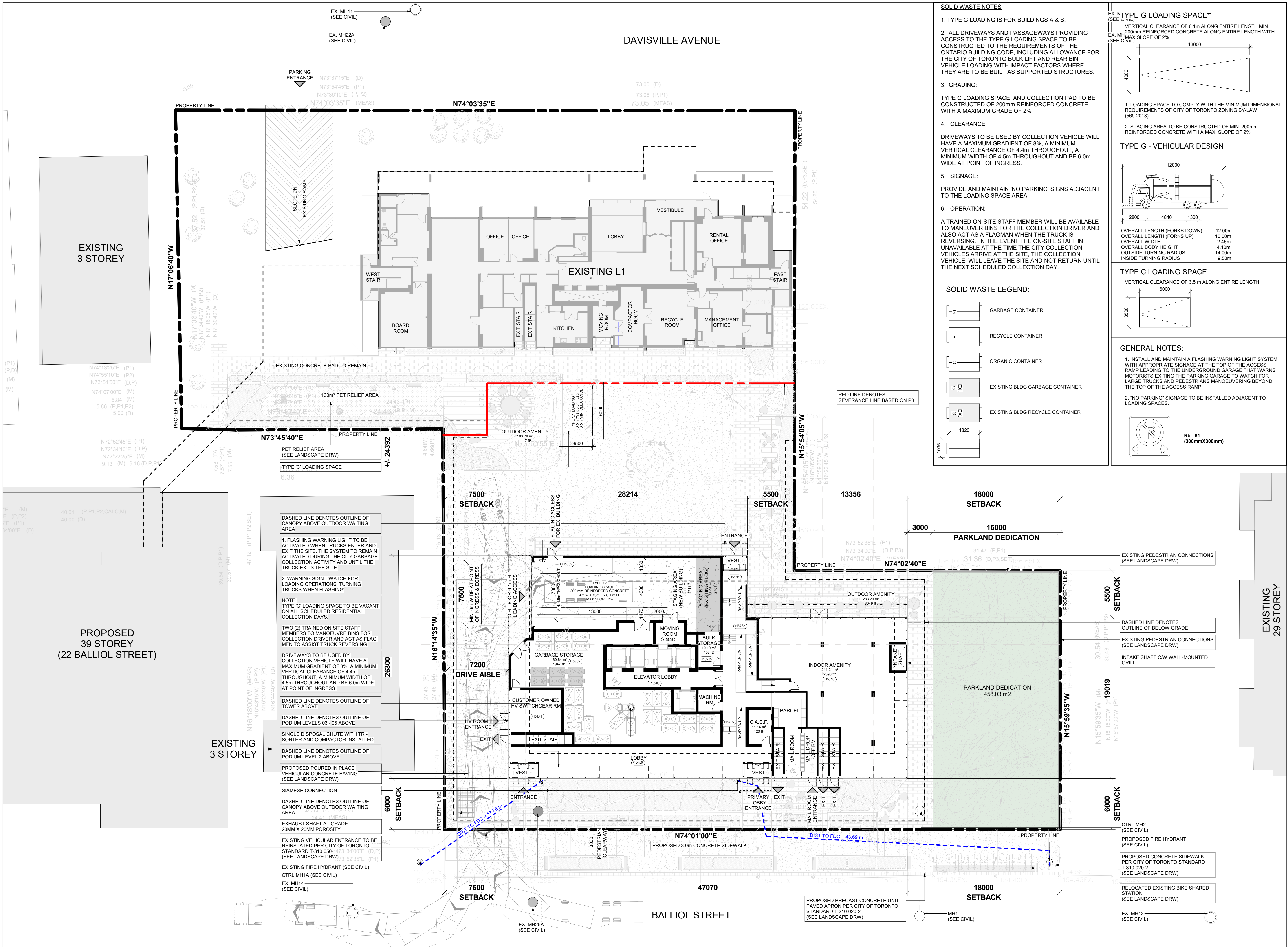
Checked by

21-17 Project No.

Date

A1.00 Drawing No.

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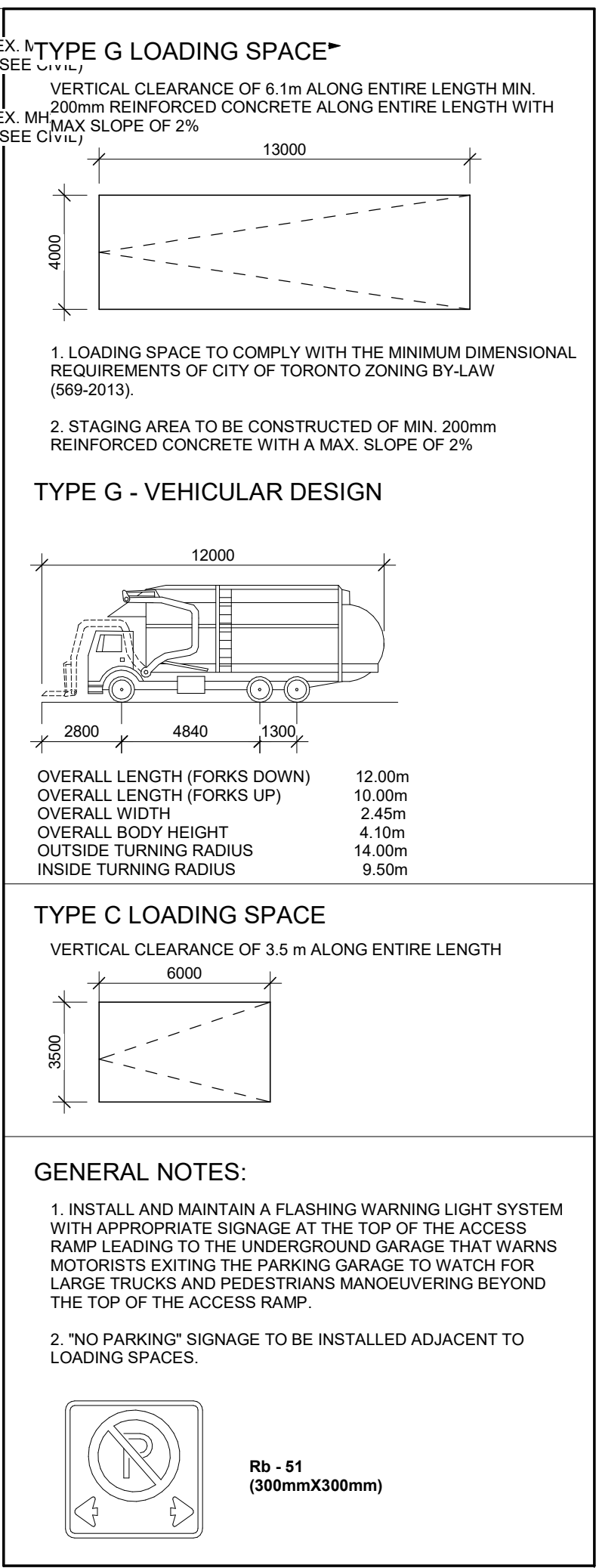


SOLID WASTE NOTES

- TYPE G LOADING IS FOR BUILDINGS A & B.
- ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.
- GRADING:
TYPE G LOADING SPACE AND COLLECTION PAD TO BE CONSTRUCTED OF 200mm REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%
- CLEARANCE:
DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.
- SIGNAGE:
PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.
- OPERATION:
A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

SOLID WASTE LEGEND:

- GARBAGE CONTAINER
- RECYCLE CONTAINER
- ORGANIC CONTAINER
- EXISTING BLDG GARBAGE CONTAINER
- EXISTING BLDG RECYCLE CONTAINER



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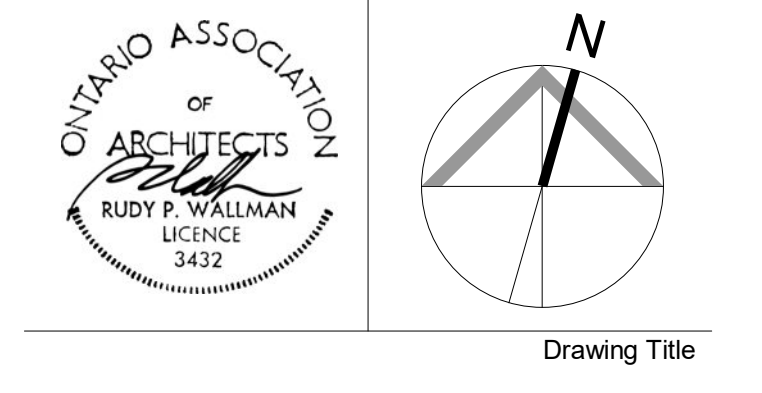
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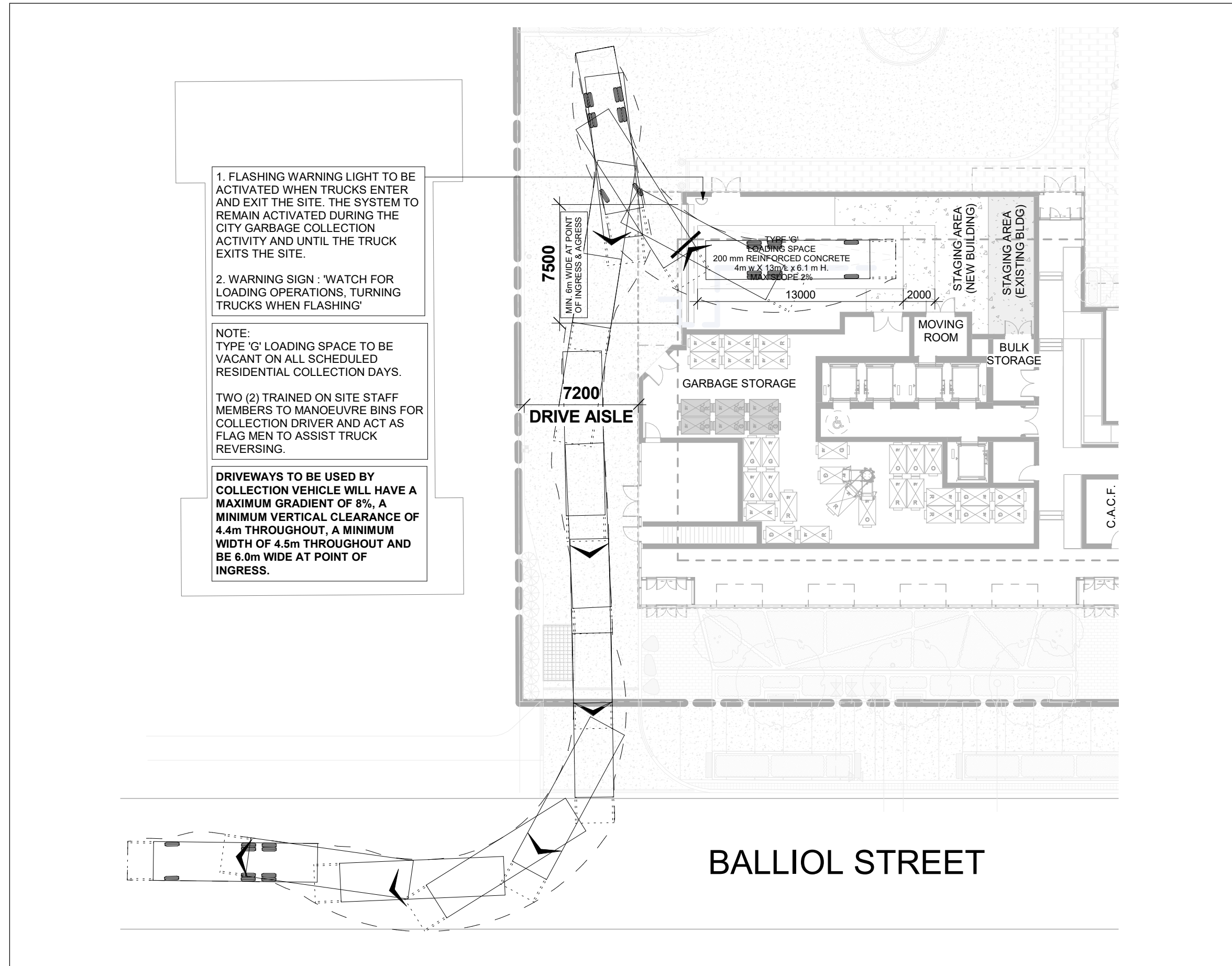
No	Issued For	Date (YYYY/MM/DD)
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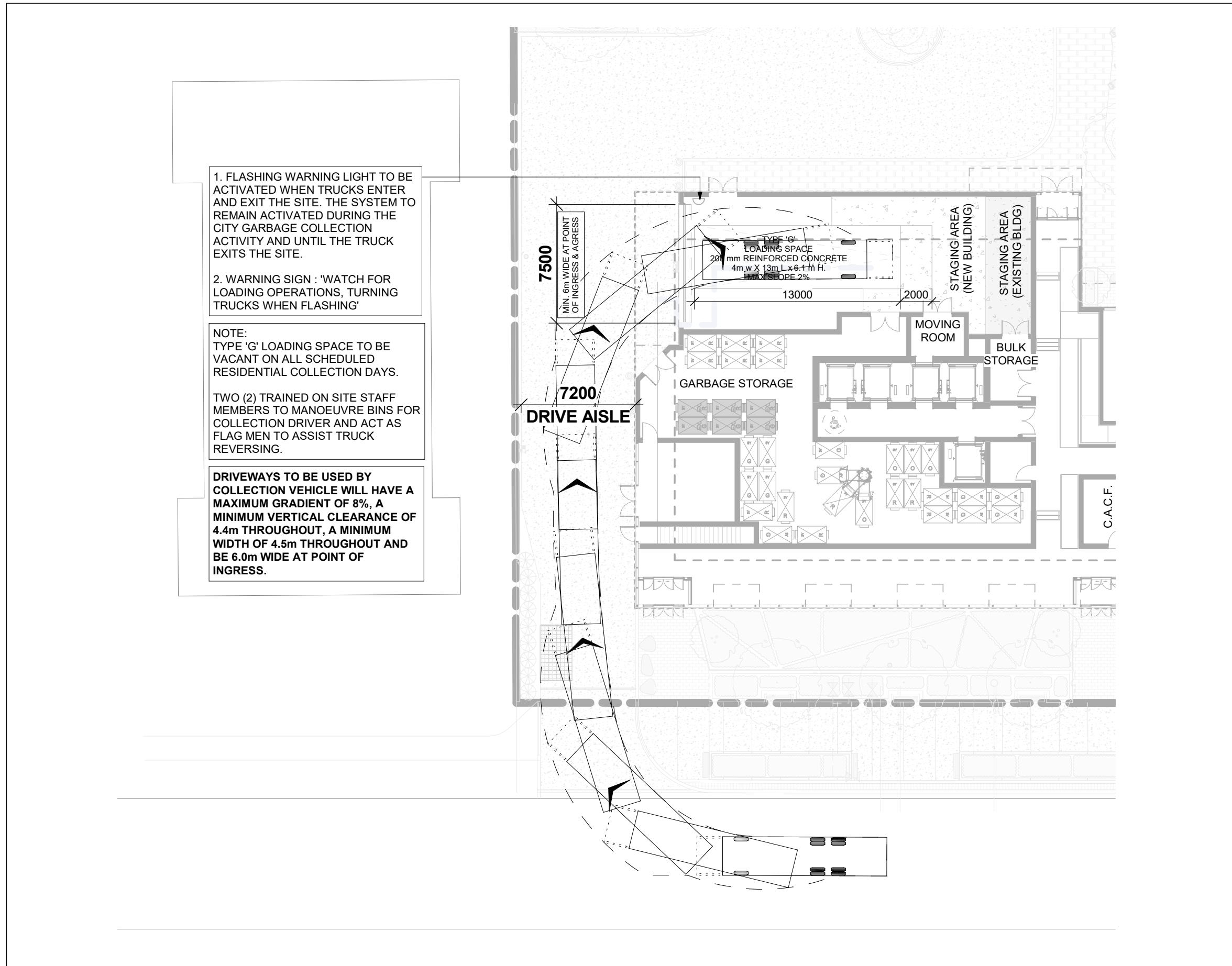


SITE PLAN - GROUND FLOOR

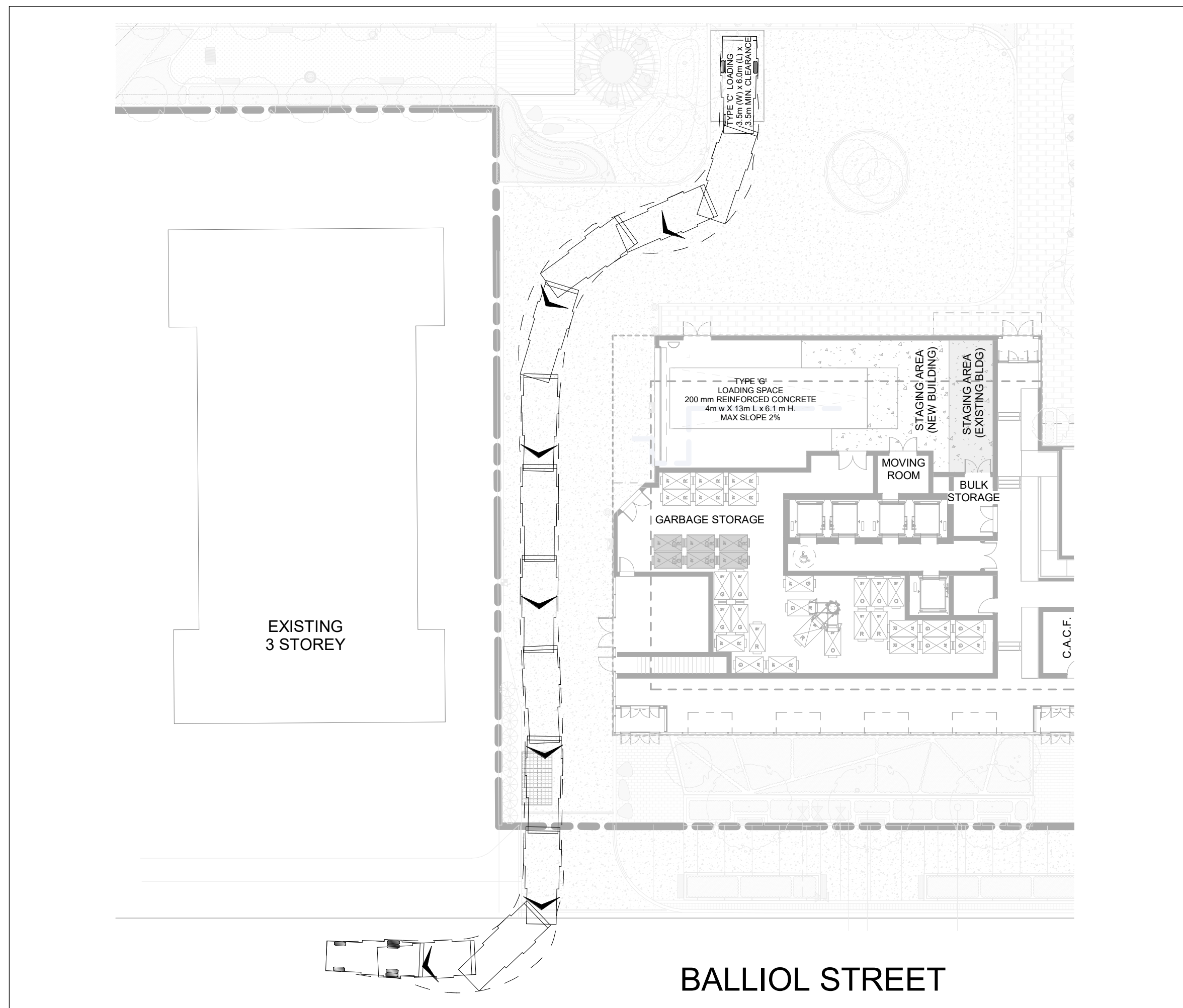
Client	OGDC
Project	33 DAVISVILLE/60 BALLIOL
Address	33 Davisville Ave Toronto, ON M4S 1E8
Scale	1 : 200
Drawn by	
Checked by	
Project No.	21-17
Date	
Drawing No.	A1.01a



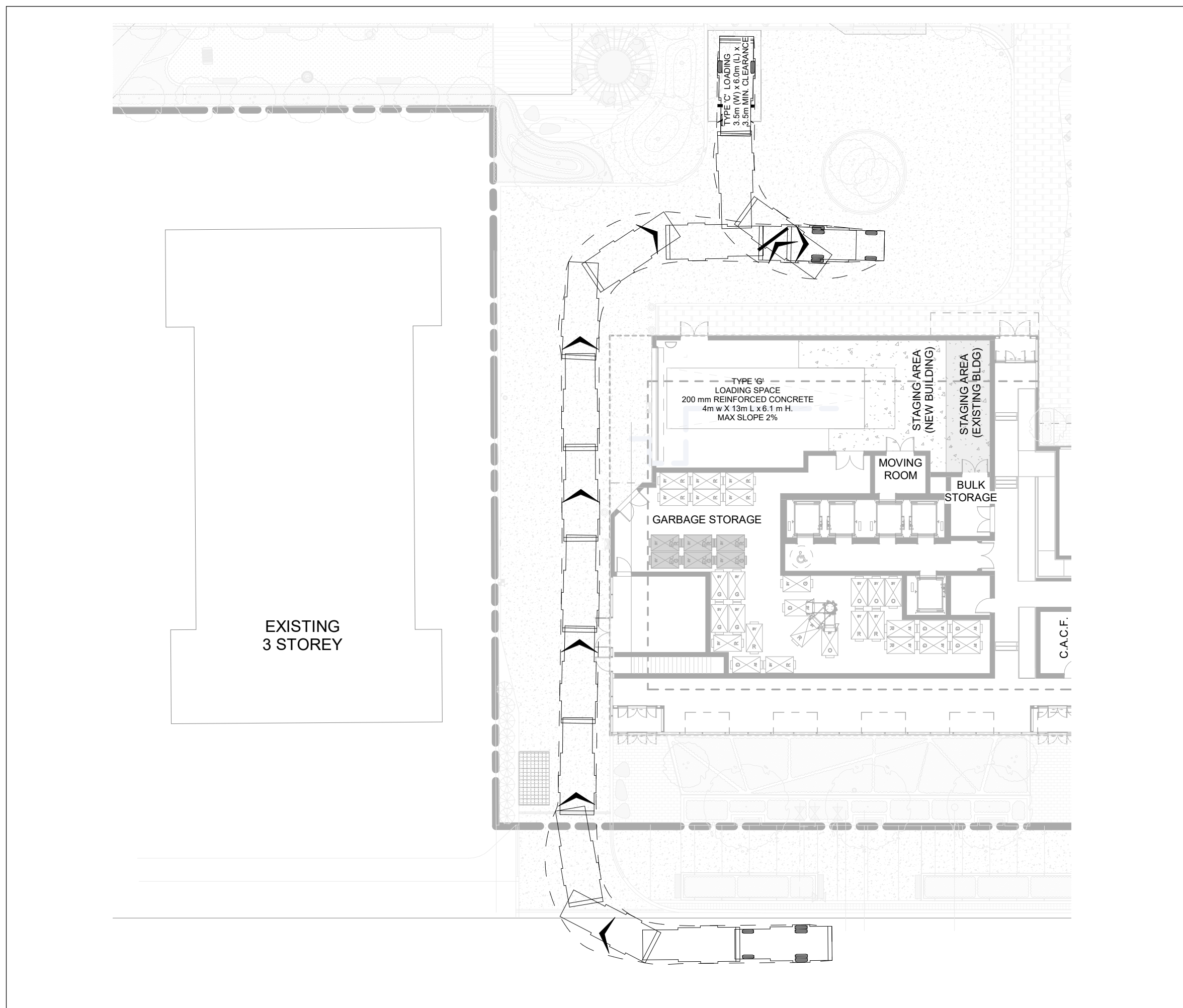
TYPE "G" LOADING - GARBAGE TRUCK OUTBOUND 2
Scale: 1 : 250 A1.06



TYPE "G" LOADING - GARBAGE TRUCK INBOUND 1
Scale: 1 : 250 A1.06



TYPE "C" LOADING - OUTBOUND 4
Scale: 1 : 250 A1.06



TYPE "C" LOADING - INBOUND 3
Scale: 1 : 250 A1.06

TYPE G LOADING SPACE
VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH MAX SLOPE OF 2%.

1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW (569-2013).
2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%.

TYPE G - VEHICULAR DESIGN

OVERALL LENGTH (FORKS DOWN)	12.00m
OVERALL LENGTH (FORKS UP)	10.00m
OVERALL WIDTH	2.45m
OVERALL BODY HEIGHT	4.10m
OUTSIDE TURNING RADIUS	14.00m
INSIDE TURNING RADIUS	9.50m

TYPE C LOADING SPACE
VERTICAL CLEARANCE OF 3.5 m ALONG ENTIRE LENGTH

GENERAL NOTES:

- INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.
- "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO LOADING SPACES.

Rb-51 (300mmX300mm)

SOLID WASTE NOTES

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- SIGNAGE:
PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.
- OPERATION:
A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

SOLID WASTE LEGEND:

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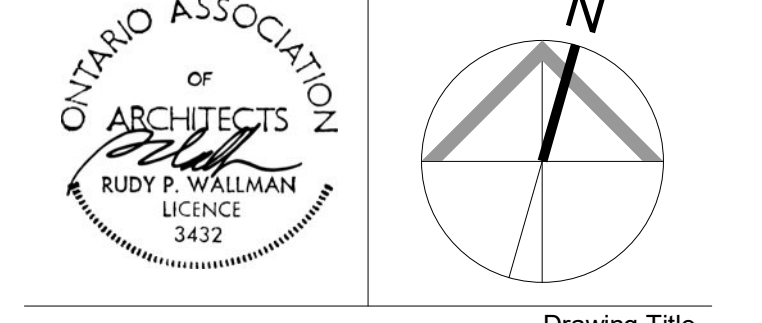
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MANOEUVERING DIAGRAMS - 1

Client
OGDC

Project
33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8
Scale
1 : 250

Drawn by
Checked by

Project No.
21-17

Date
Drawing No.

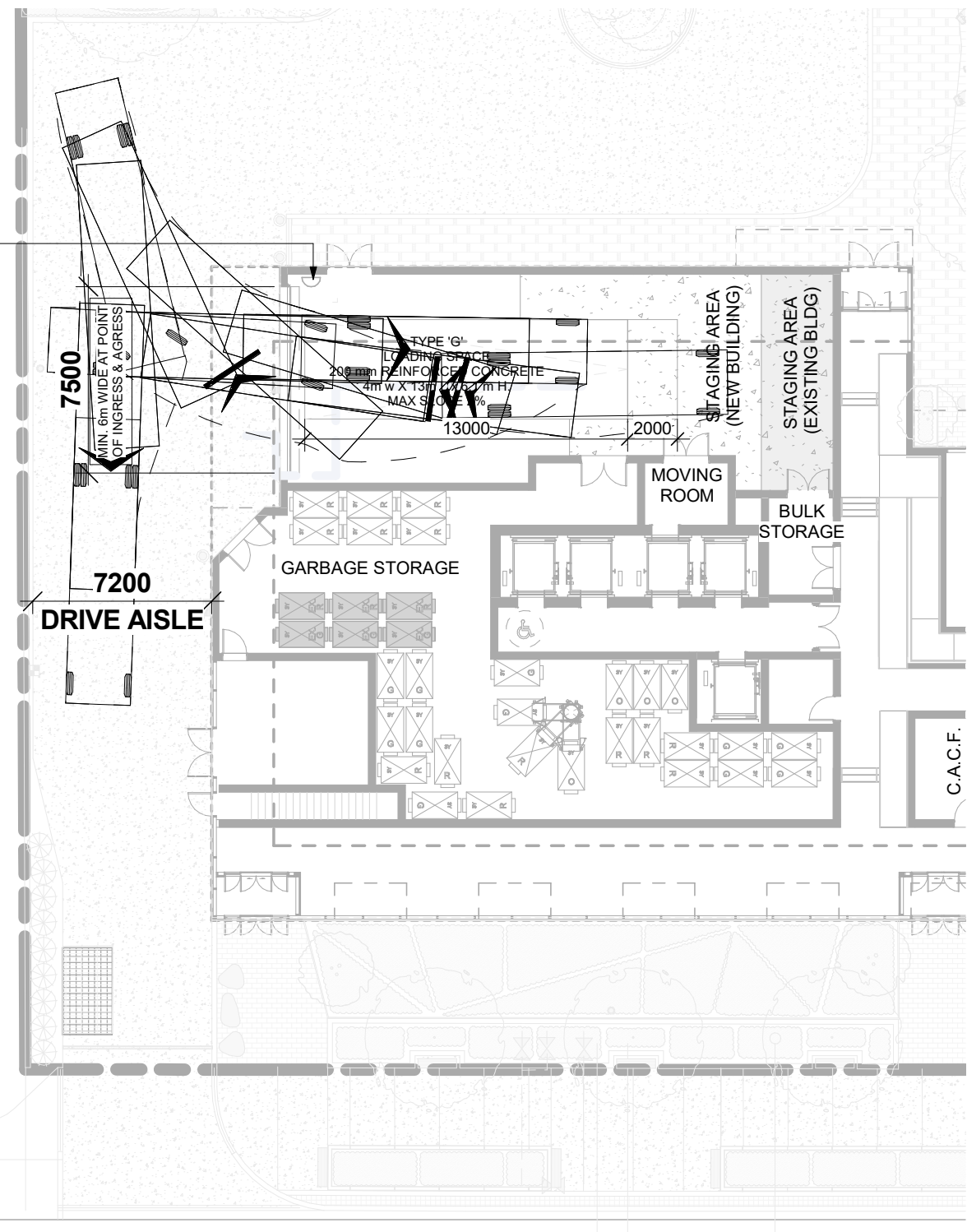
A1.06

1. FLASHING WARNING LIGHT TO BE ACTIVATED WHEN TRUCKS ENTER AND EXIT THE SITE. THE SYSTEM TO REMAIN ACTIVATED DURING THE CITY GARBAGE COLLECTION ACTIVITY AND UNTIL THE TRUCK EXITS THE SITE.
2. WARNING SIGN : 'WATCH FOR LOADING OPERATIONS, TURNING TRUCKS WHEN FLASHING'

NOTE:
TYPE 'G' LOADING SPACE TO BE VACANT ON ALL SCHEDULED RESIDENTIAL COLLECTION DAYS.

TWO (2) TRAINED ON SITE STAFF MEMBERS TO MANOEUVRE BINS FOR COLLECTION DRIVER AND ACT AS FLAG MEN TO ASSIST TRUCK REVERSING.

DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.



BALLIOL STREET

HEAVY SINGLE UNIT TRUCK OUTBOUND

Scale: 1 : 250

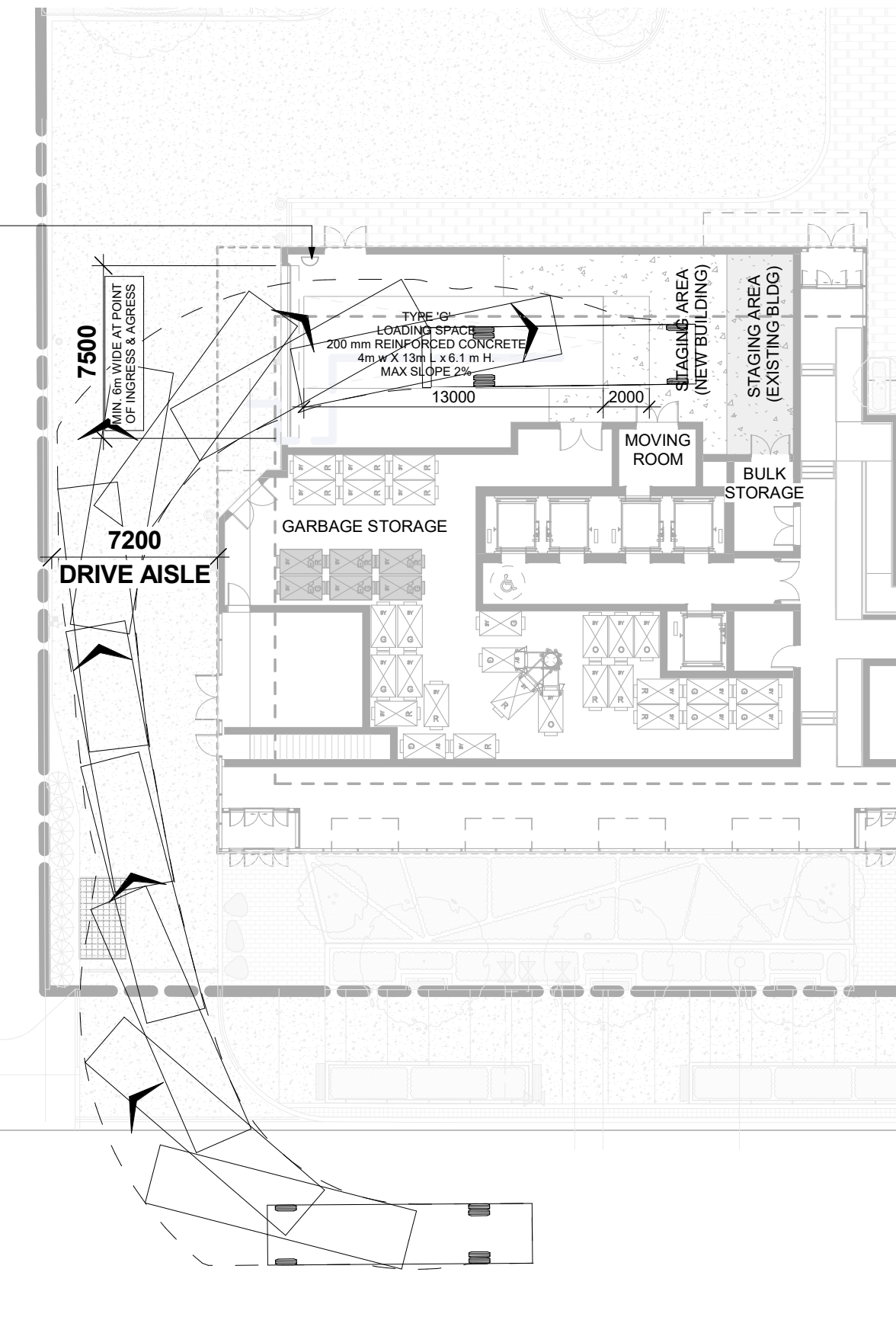


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HEAVY SINGLE UNIT TRUCK INBOUND

Scale: 1 : 250

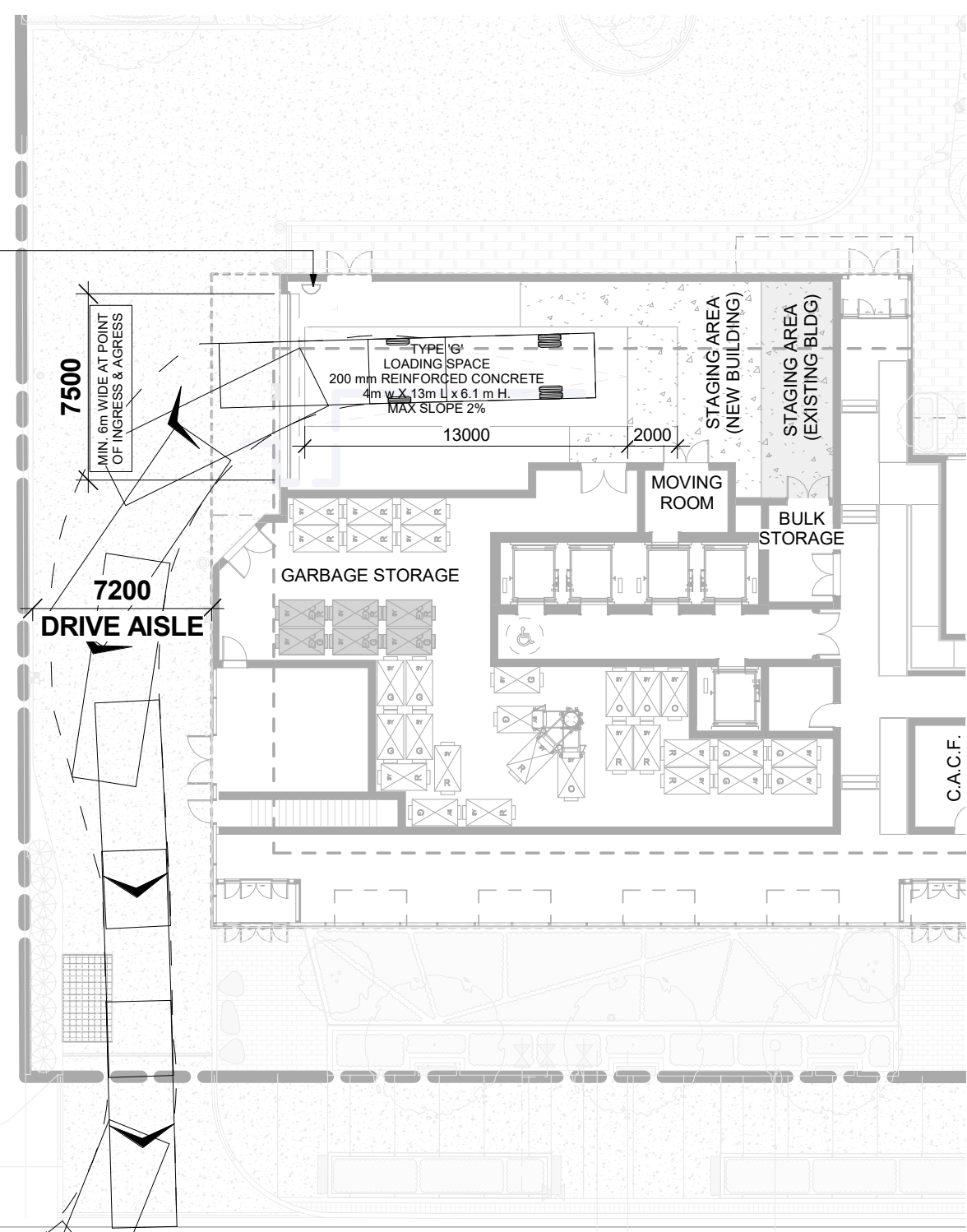


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BALLIOL STREET

TAC SU (SINGLE UNIT TRUCK) OUTBOUND

Scale: 1 : 250

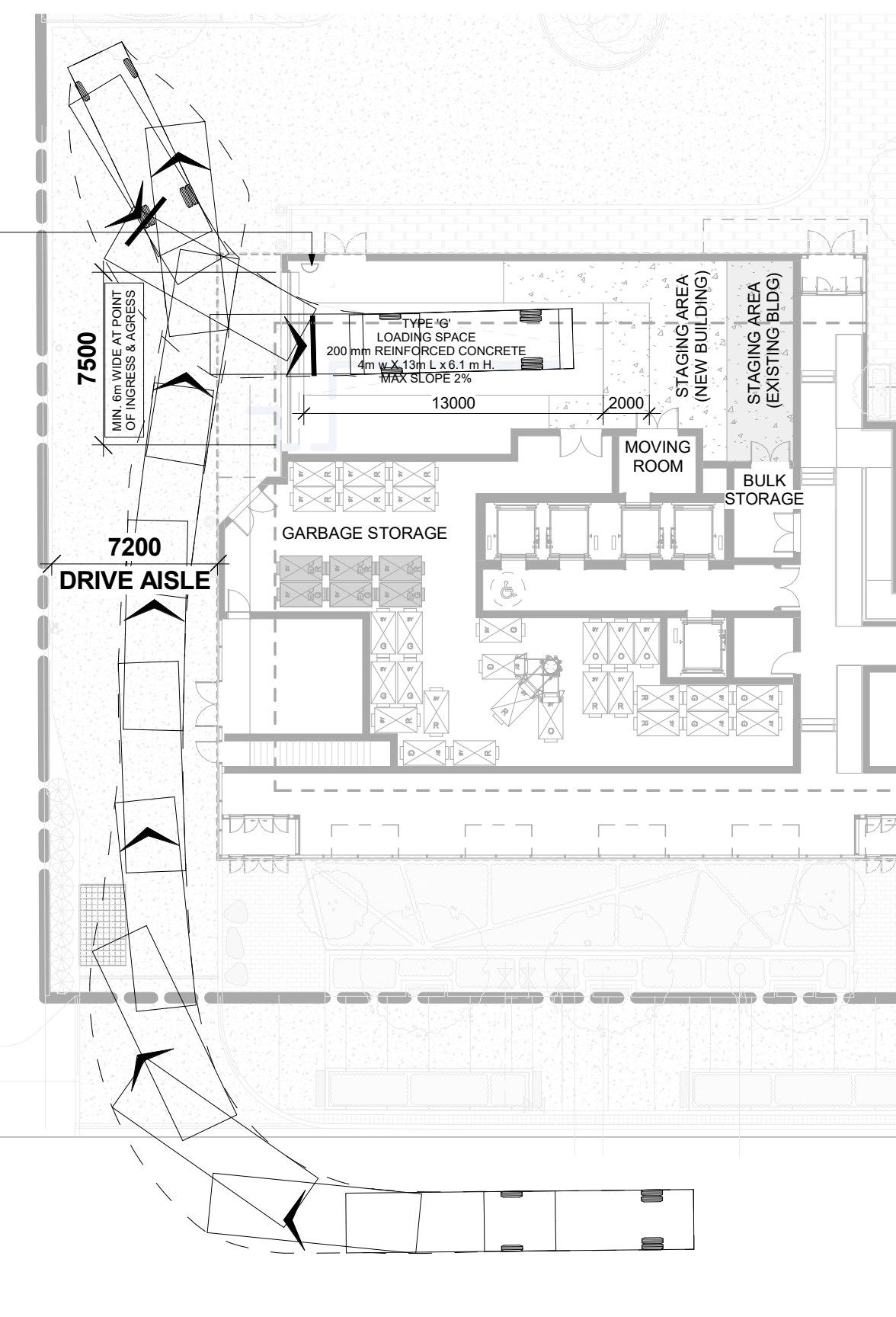


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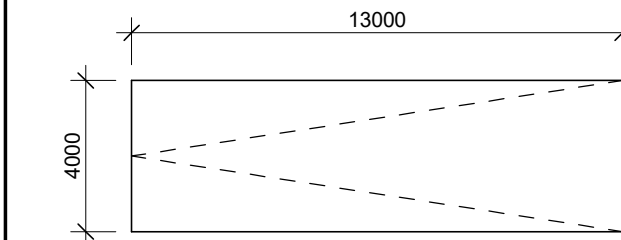
TAC SU (SINGLE UNIT TRUCK) INBOUND

Scale: 1 : 250



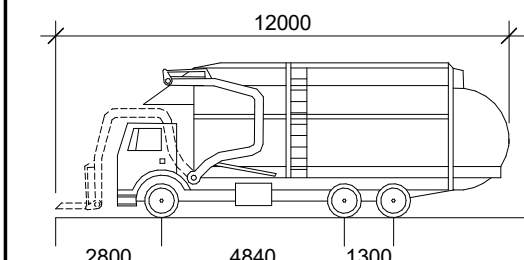
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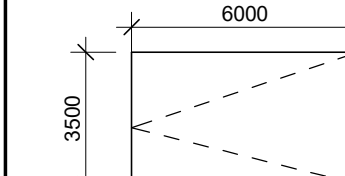
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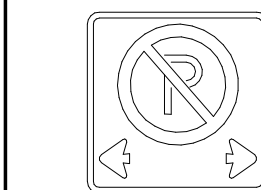
TYPE C LOADING SPACE

VERTICAL CLEARANCE OF 3.5 m ALONG ENTIRE LENGTH



GENERAL NOTES:

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Rb - 51 (300mmX300mm)

SOLID WASTE NOTES

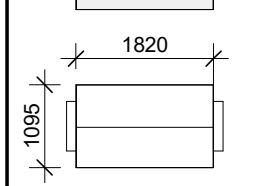
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- EXISTING BLDG RECYCLE CONTAINER



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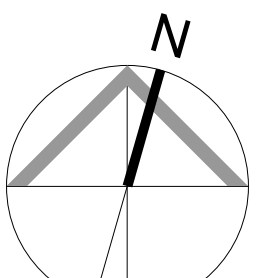
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No	Issued For	Date (YYYY/MM/DD)
2	ISSUED FOR ZBA	2023-09-29

WALLMAN ARCHITECTS

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info@wallmanarchitects.com



Drawing Title

MANOEUVERING DIAGRAMS -2

Client

OGDC

Project

33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

Scale

1 : 250

Drawn by

Checked by

Project No.

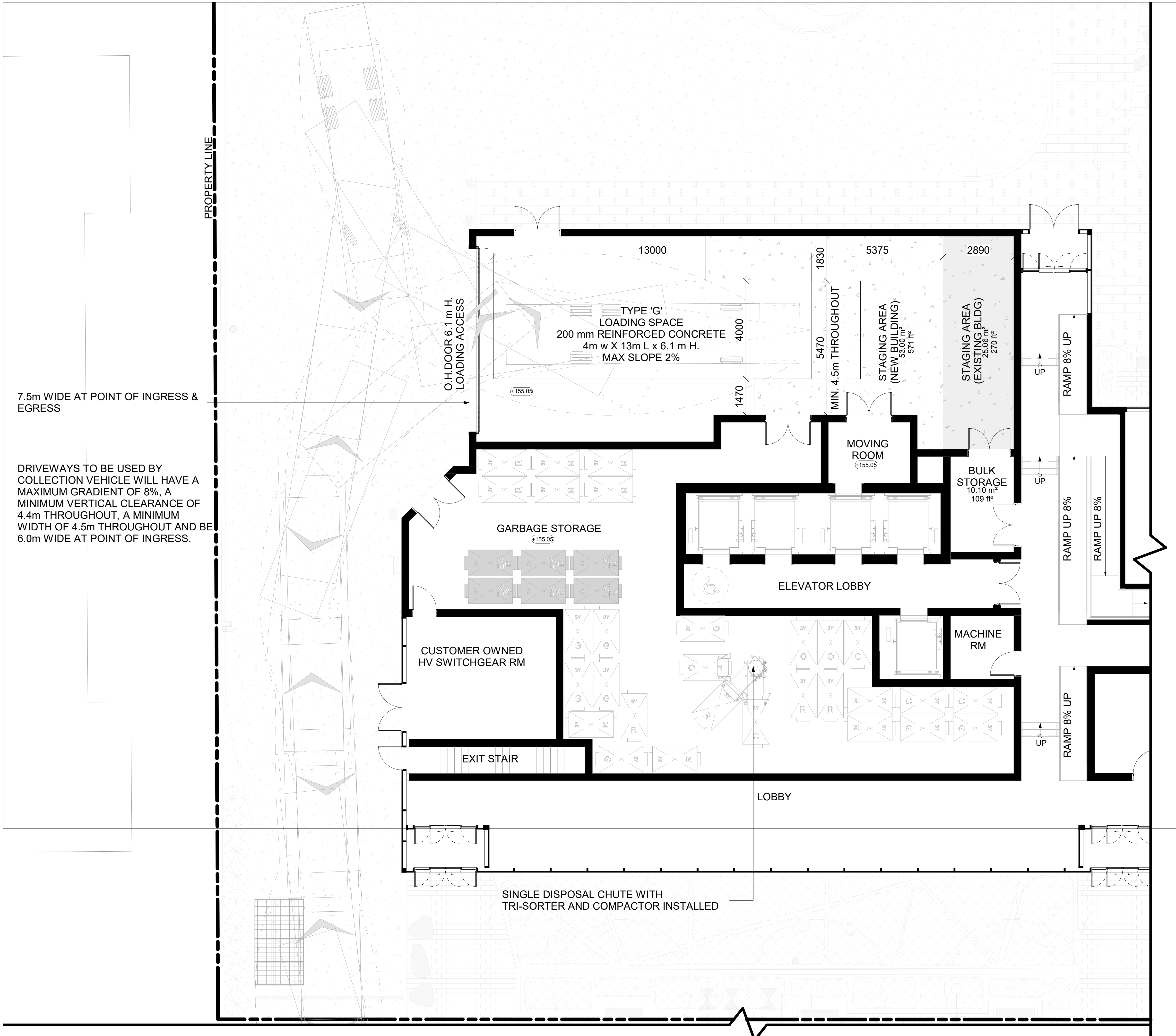
21-17

Date

Drawing No.

A1.07

Plot Date: 10/2/2023 1:23:26 PM File Path: Y:\08 Temporary Files\Rev1 Default Path\Terry\21-17_33 Davisville\mca\waste\mca\waste.dwg



7.5m WIDE AT POINT OF INGRESS & EGRESS

DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.

SOLID WASTE NOTES

- TYPE G LOADING IS FOR BUILDINGS A & B.
- ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.
- GRADING:
TYPE G LOADING SPACE AND COLLECTION PAD TO BE CONSTRUCTED OF 200mm REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%
- CLEARANCE:
DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.
- SIGNAGE:
PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.
- OPERATION:
A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

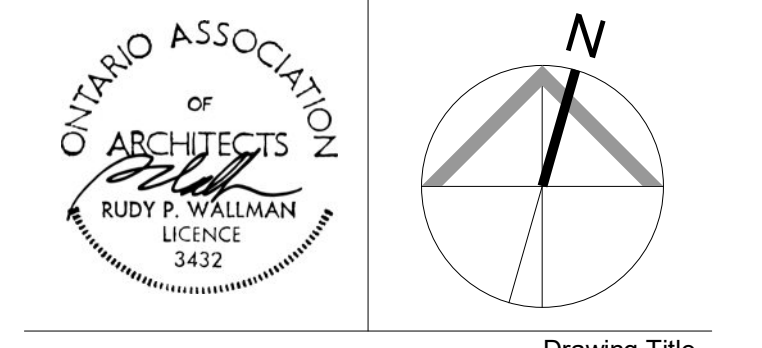
SOLID WASTE LEGEND:

- GARBAGE CONTAINER
- RECYCLE CONTAINER
- ORGANIC CONTAINER
- EXISTING BLDG GARBAGE CONTAINER
- EXISTING BLDG RECYCLE CONTAINER

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WASTE MANAGEMENT

Client
OGDC

Project
33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8
Scale
1 : 75

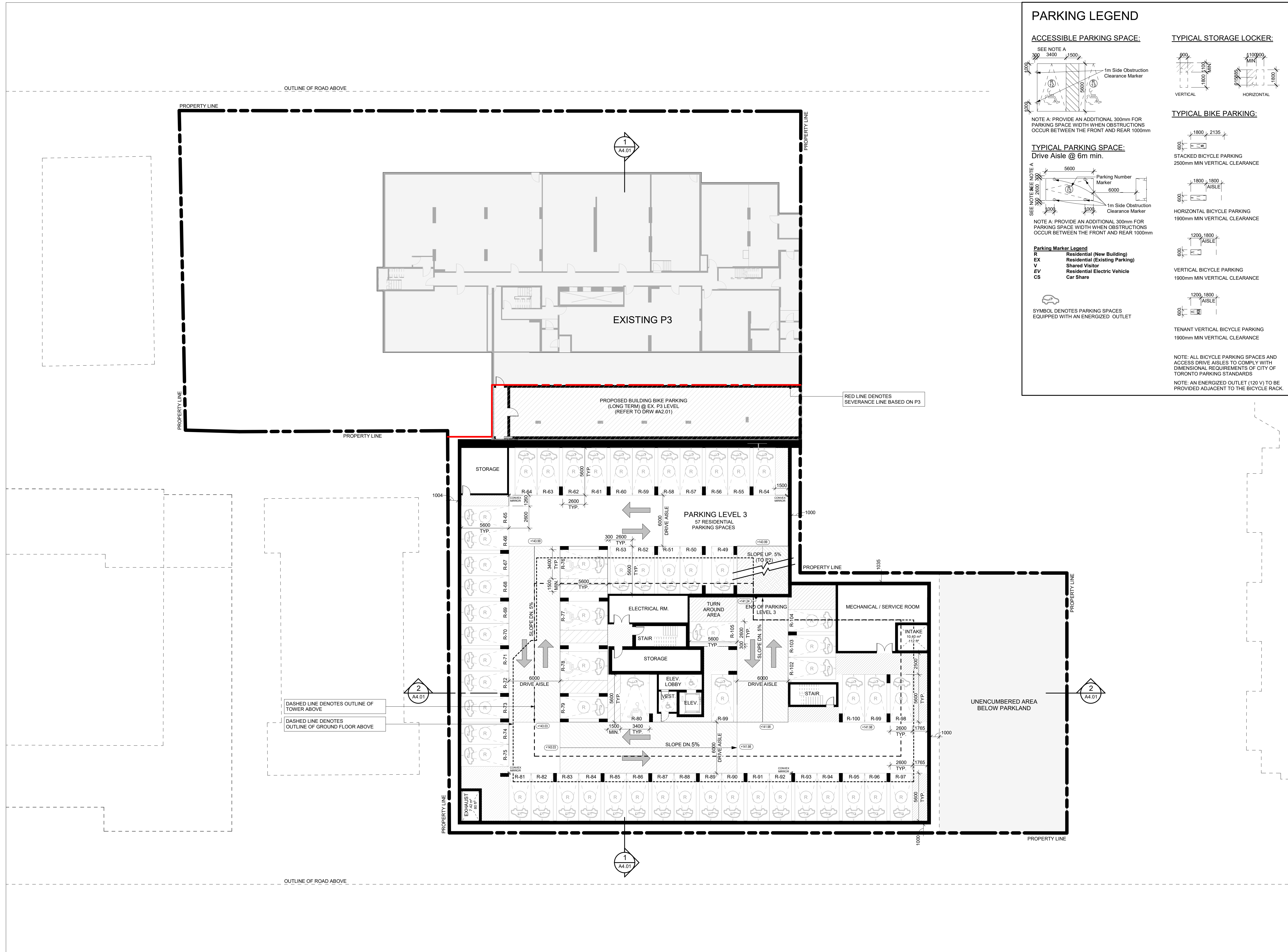
Drawn by
Checked by

Project No.
21-17

Date
Drawing No.

A1.08

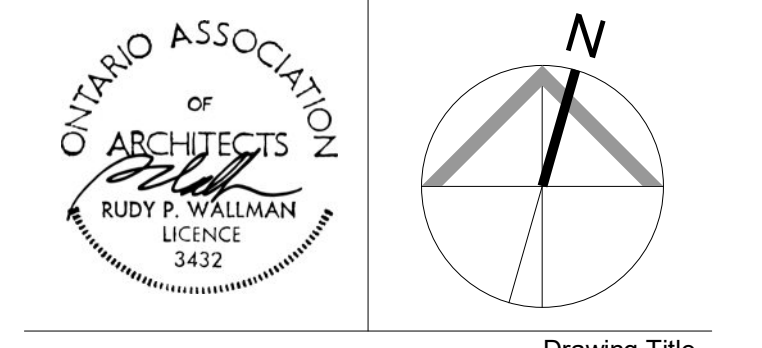
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No	Issued For	Date (YYYY/MM/DD)
1	ISSUED FOR ZBA/SPA	2022-06-03
2	ISSUED FOR ZBA	2023-09-29

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PARKING LEVEL 3

Client
OGDC

Project
33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

Scale
1 : 200

Drawn by

Checked by

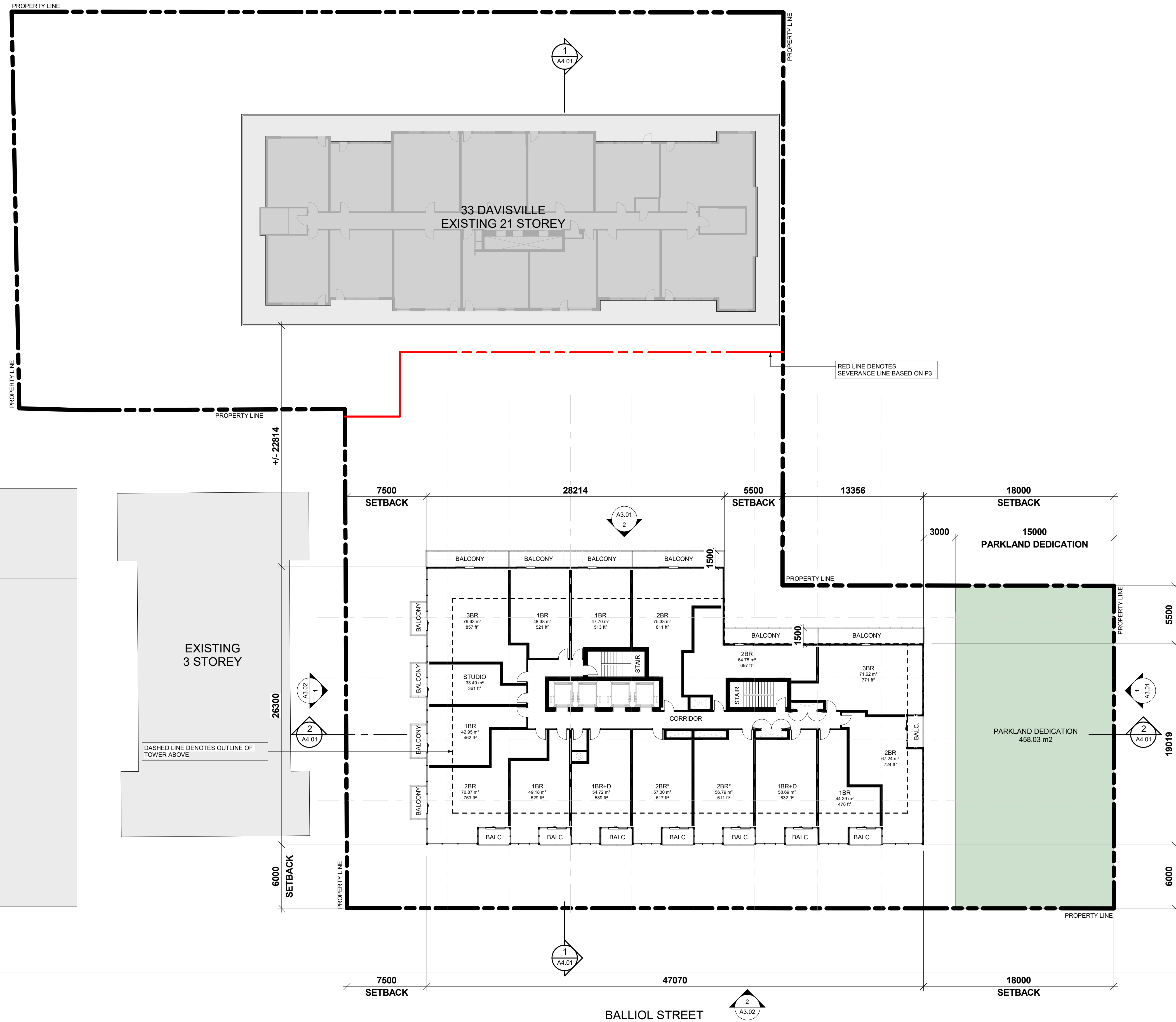
Project No.
21-17

Date

Drawing No.

A2.00

DAVISVILLE AVENUE

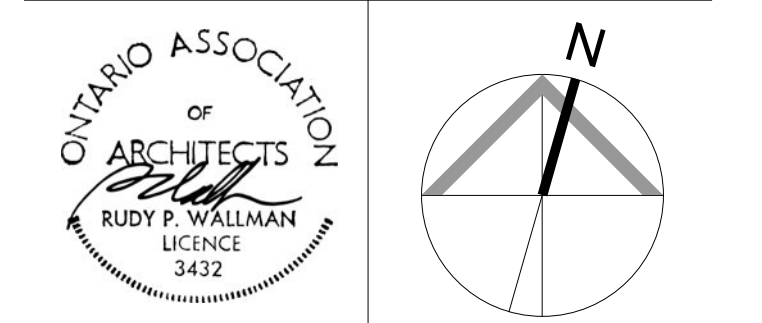


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2	ISSUED FOR ZBA	2023-09-29

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LEVEL 03 - 04 FLOOR PLAN

Client
OGDC

Project
33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

Scale
 1 : 200

Drawn by

Checked by

Project No.
 21-17

Date

Drawing No.

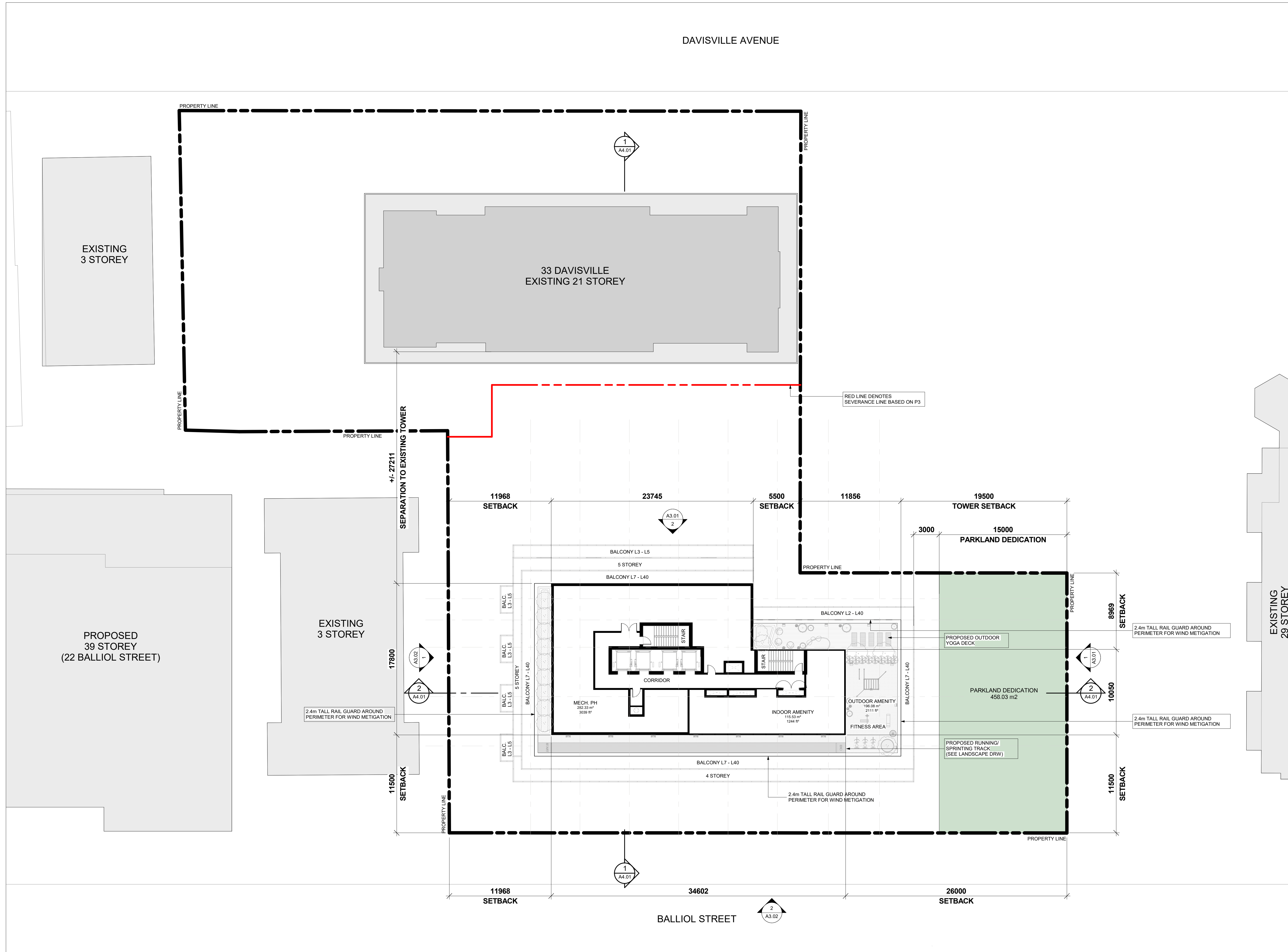
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DAVISVILLE AVENUE

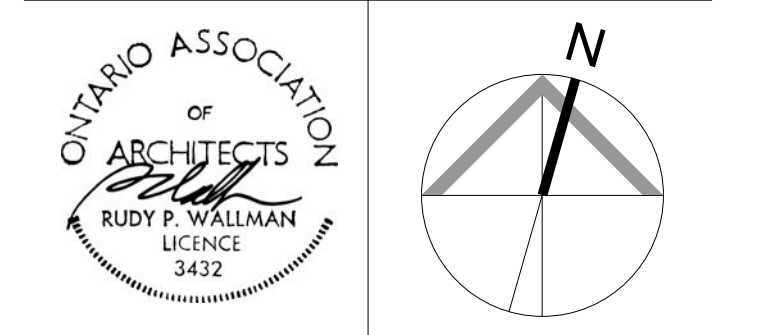
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Drawing Title

MPH FLOOR PLAN

Client

OGDC

Project

33 DAVISVILLE/60 BALLIOL

33 Davisville Ave Toronto, ON M4S 1E8

Scale

1 : 200

Drawn by

Checked by

Project No.

21-17

Date

Drawing No.

A2.11

