33 DAVISVILLE/60 BALLIOL

TORONTO, ONTARIO

CLIENT:

OGDC
Toronto, Ontario

ARCHITECT:

WALLMAN ARCHITECTS

117 Peter Street, Suite 208, Toronto, Ontario, M5V 0M3

ISSUED FOR ZBA:

SEPTEMBER 29, 2023

	DRAWING LIST					
Sheet Number	Sheet Name					
A0.00	COVER SHEET & DRAWING LIST					
A0.02	LEGAL SURVEY					
A0.03	STATISTICS					
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A2.05	LEVEL 03 - 04 FLOOR PLAN					
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A2.08	LEVEL 07 - 19, 22 - 23 FLOOR PLAN					
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A2.10	LEVEL 24-40 FLOOR PLAN					
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A2.12	ROOF PLAN					
A3.01	NORTH & EAST ELEVATION					
A3.02	SOUTH & WEST ELEVATION					
A4.01	SECTION A-A & B-B					
A6.01a	SHADOW STUDIES MARCH - SEPTEMBER					
A6.01b	SHADOW STUDIES MARCH - SEPTEMBER					
A6.02a	SHADOW STUDIES JUNE					
A6.02b	SHADOW STUDIES JUNE					



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1 ISSUED FOR ZBA/SPA
2 ISSUED FOR ZBA

Date (YYYY/MM/DD) 2022-06-03

WALLMANARCHITECTS

117 Peter Street, Suite 208 Toronto, Ontario M5V 0M3 t 416 340 1870 f 416 340 1871

f 416 340 1871 info@wallmanarchitects.com



Drawing Title

COVER SHEET & DRAWING LIST

Client

Project
33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

Scale

Drawn by

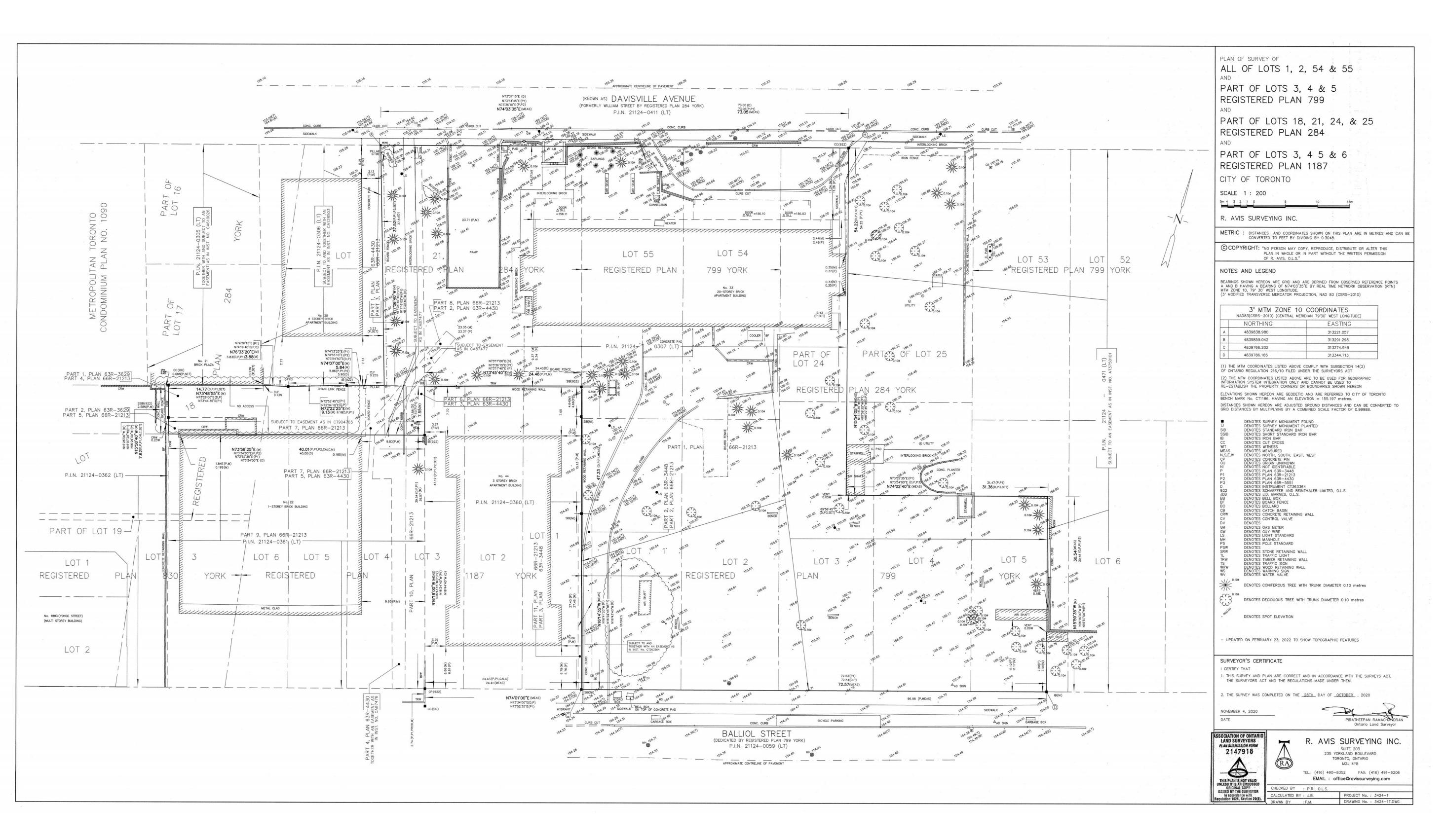
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 2023-09-29

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LEGAL SURVEY

OGDC

Drawing Title

33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

Scale

Drawn by

Checked by
Project No.

21-17

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A0.02

33 DAVISVILLE/60 BALLIOL

Project Statistics
October 3, 2023

BUILDING INFORMATION

 Building Height: (8m Mech. PH included)
 136.95 m
 40 Storey

 Site Stats

 By law 569-2013

 Development Site Area
 3,101 m²
 m²

 Development Gross Floor Area
 30,042.7 m²
 33 Davisville Parkland Required (10%)
 310.1 m²

 Total Parkland Provided
 458.0 m²
 FSI

 FSI
 9.69

	(m ²)	(sf)	
GCA	33,500	360,593	(Above Grade)
GFA	30,043	323,377	(Above & Below Grade)

	Quantity	Ratio	Location
Rental Replacement Spaces For Tenants	26	0.10	P1 and P2 Leve
Proposed Spaces To Serve New Construction	105	0.20	P2 and P3 Leve
Shared Visitor (Existing & New Building)	9	0.01	P1 Level
Car Share	2		P1 Level
Total	142		

t Size	Propo	osed	* To Compl	y SEC. 7.1
1	Quantity	%	Quantity	%
	101	19.1%	33	6.7%
3	266	50.2%	262	53.4%
•	103	19.4%	139	28.3%
i	60	11.3%	60	12.2%
	530		494	100%

																						50		
				UNIT	SUMMARY										DEDUCTIONS -	BYLAW 569	2013						GFA - By-	-law 569-2013
Levels	s	STUDIO	1B	1B+D	2B	2B* INBOUND	3B	Total Units	Tota	al GCA	Elevator Hoistway	Exit Stair	Garbage Chute	M&E	Below Grade Storage	MPH	Parking Area	Indoor Amenity Deduction	Loading Deduction	Void Space	Bic. park Deductions	Total Deductions	Total Gros	ss Floor Area
									(m ²)	(sf)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(m ²)	(sf)
Parking	P1								2,241.0	24,122												0.0	100.0	1,076
Parking	P2								2,241.0	24,122												0.0	100.0	1,076
Parking	P3								2,241.0	24,122												0.0	100.0	1,076
Total Below Grade									6,723.0	72,366												0.0	300.0	3,229
Lobby/Amenity	L1	0	0	0	0	0	0	0	1,071.7	11,536	32.8	32.1	0.3	0.0				241.2	52.0			358.4	713.3	7,678
Residential	L2	0	4	3	2	2	1	12	1,038.7	11,180	26.0	26.0	0.3	3.6				44.4	32.0	131.6		231.9	806.8	8,684
Residential	L3	1	5	2	4	2	2	16	1,065.1	11,465	26.0	26.0	0.3	3.6								55.9	1,009.2	10,863
Residential	L4	1	5	2	4	2	2	16	1,065.1	11,465	26.0	26.0	0.3	3.6								55.9	1,009.2	10,863
Residential	L5	1	7	0	2	0	4	14	959.4	10,327	26.0	26.0	0.3	3.6								55.9	903.5	9,725
Amenity	L6	0	0	0	0	0	0	0	570.1	6,137	26.0	26.0	0.3	3.6				438.3				494.2	75.9	817
Residential	L7	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L8	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L9	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L10	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L11	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L12	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L13	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L14	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L15	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L16	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L17	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L18	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L19	4	6	2	2	0	11	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential/Mechanical	L20	2	7	1	2	0	1	13	800.0	8,611	26.0	26.0	0.3	69.7								122.0	678.0	7,298
Residential/Mechanical	L21	2	7	1	2	0	1	13	800.0	8,611	26.0	26.0	0.3	69.7								122.0	678.0	7,298
Residential	L22	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L23	4	6	2	2	0	1	15	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L24	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L25	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L26	2	<u> </u>	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential Residential	L27 L28	2	6	0	3	0	2 2	13	800.0 800.0	8,611 8,611	26.0 26.0	26.0 26.0	0.3	1.8								54.1 54.1	745.9 745.9	8,029 8,029
Residential	L28	2	6	0	2	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L30	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L31	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L32	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L32	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L34	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L35	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L36	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L37	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L38	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L39	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Residential	L40	2	6	0	3	0	2	13	800.0	8,611	26.0	26.0	0.3	1.8								54.1	745.9	8,029
Amenity/Mechanical PH	240		-			· ·		0	530.1	5,706	26.0	26.0	0.3	1.8		306.8		115.5				476.4	0.0	0
Total Above Grade		101	227	39	97	6	60	530	33,500.2		1,072.8	1,072.1	12.3	1.0	0.0	306.8	0.0	839.4	52.0	131.6	0.0	3,703.8	29,742.7	
			43%	7%	18%	1%			00,00012	555,555	1,012.0	.,			3.0	0.010	0.0	500.7				0,10010	_0,, ,,	020,11012

(SEE DRW# A2.08, A2.09, A2.10)

Total Above & Below Grade (New Building)	·		40,223.2	432,959	
22 Davisvilla Evisitas Tatal Unita		266			

rking Provided (Existing & N	New Building)
	Rental Replac

	Spaces For Tenants s			d Spaces To Construction	Car Share	Share (Existir Bui	Total	
	Typical	Accessible	Typical	Accessible		Typical	Accessible	
P1	20	0	0	0	2	7	2	31
P2	2	4	44	4	0	0	0	54
P3	0	0	53	4	0	0	0	57
Total Provided	2	26		105	2		9	142
Parking Rate (Stall/Unit)	0.	.10		0.20		0	.01	0.17

Accessible Parking				
	Visitor	Residential	Total	
Required	2	12	14	
Provided	2	12	14	

	EVSE Parking	Parking (New Building)	Rate	Required	Provided
	Residential	105	100%	105	105
[Visitor	9	25%	2	2

	Long-term	Short-term	Energized (15% Long-term Bike)
Rate	0.9	0.10	0.15
Total Unit (New Building	530	530	530
Total Required	477	53	71.55
Bicycle Parking Provided (Ne	w Building)		_
	Long-term	Short-term	Energized (15% Long-term Bike)
P1	64	53	64
P2	202	0	8
P3	212	0	
Total Provided	478	53	72

Amenity Provi	ded (New Bui	lding)	
	(m ²)	(sf)	Ratio sm/Unit
INDOOR			
L1	241.2	2,596	
L2	44.4	478	
L2 L6	438.3	4,718	
MPH	115.5	1,244	
Total Indoor	839.4	9,036	1.58
OUTDOOR			
L1	387.1	4,166	
L6	336.5	3,622	
MPH	196.1	2,111	
Total Outdoor	919.7	9,899	1.74
Combined	1,759.1	18,935	3.32

Waste Management (New Buildir	ng)				
Garbage & Recycling			Required (m²)	Provided (m²)	
First 50 Units	25 sqm		25		
Remaining Units	13 sqm x	9.6	124.8	126.2	
Total New Building			149.8	150.84	-0.0
rom Existing Building			30	30	
Total Garbage Storage			179.8	180.84	
Staging Area for New Building	5 sqm x	9.6	53.00	53.00	
Staging Area for Existng Building	**		25	25.06	
Total Staging Area			78	78.06	
Bulk Storage			10	10.00	



Statistics Template – Toronto Green Standard Version 4.0

Mid to High Rise Residential and

Mid to High Rise Residential and all New Non-Residential Development

The Toronto Green Standard Version 4.0 Statistics Template is submitted with Site Plan Control Applications and stand-alone Zoning Bylaw Amendment applications. Complete the table and copy it directly onto the Site Plan submitted as part of the application.

For Zoning Bylaw Amendment applications: complete General Project Description and Section 1. For Site Plan Control applications: complete General Project Description, Section 1 and Section 2.

General Project Description	Proposed
Total Gross Floor Area	30,043 m2 (Above & Below Grade)
Breakdown of project components (m²):	
Residential	
Retail	NA
Commercial	NA
Industrial	NA
Institutional/Other	NA
Total number of residential units	530

Section 1: For Stand Alone Zoning Bylaw Amendment Applications and Site Plan Control Applications

Low Emissions Transportation	Required	d Proposed	Proposed %
Number of Parking Spaces		142	
Number of EV Parking Spaces (Residential)	105	105	100
Number of EV Parking Spaces (non-residential)	2	2	100

Cycling Infrastructure	Required	Proposed	Proposed %
Number of long-term bicycle parking spaces (all-uses)	478	478	100
Number of long-term bicycle parking located on:			
a) first storey of building	-	0	-
b) second storey of building	-	0	
c) first level below-ground	-	64	-
d) second level below-ground	-	202	-
e) other levels below-ground	_	212	-





all New	all New Non-Residential Developmen			
Cycling Infrastructure	Required	Proposed	Proposed %	
Number of short-term bicycle parking spaces	53	53	100	
Number of shower and change facilities (non-residential)	N/A	N/A	N/A	
The transfer of the transfer for the transfer of the transfer	12.00	1500		

Tree Canopy	Required	Proposed	Proposed %
Total Soil Volume (40% of the site area ÷ 66 m2 x 30 m³)	563.8	563.8	-
Soil volume provided within the site area (m³)	-	563.8	100%
Soil Volume provided within the public boulevard (m³)	-	0	-

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Drawing Title

STATISTICS

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33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

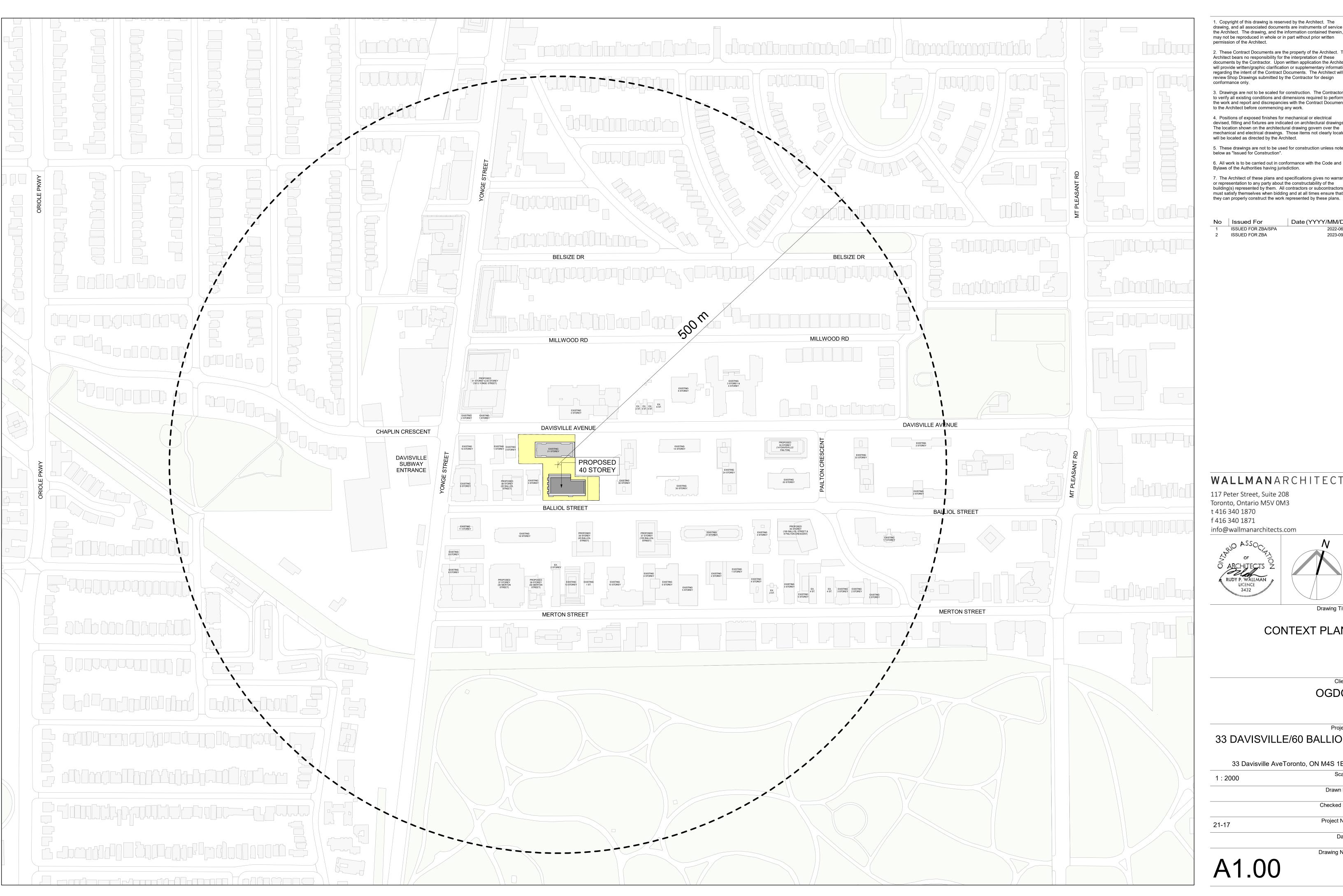
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f 416 340 1871 info@wallmanarchitects.com

RUDY P. WALLMAN LICENCE 3432

CONTEXT PLAN

OGDC

Drawing Title

33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

Drawn by

Checked by Project No.

Drawing No.

A1.00

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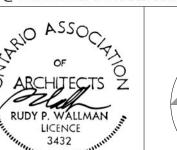
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Drawing Title

SITE PLAN - ROOF

OGDC

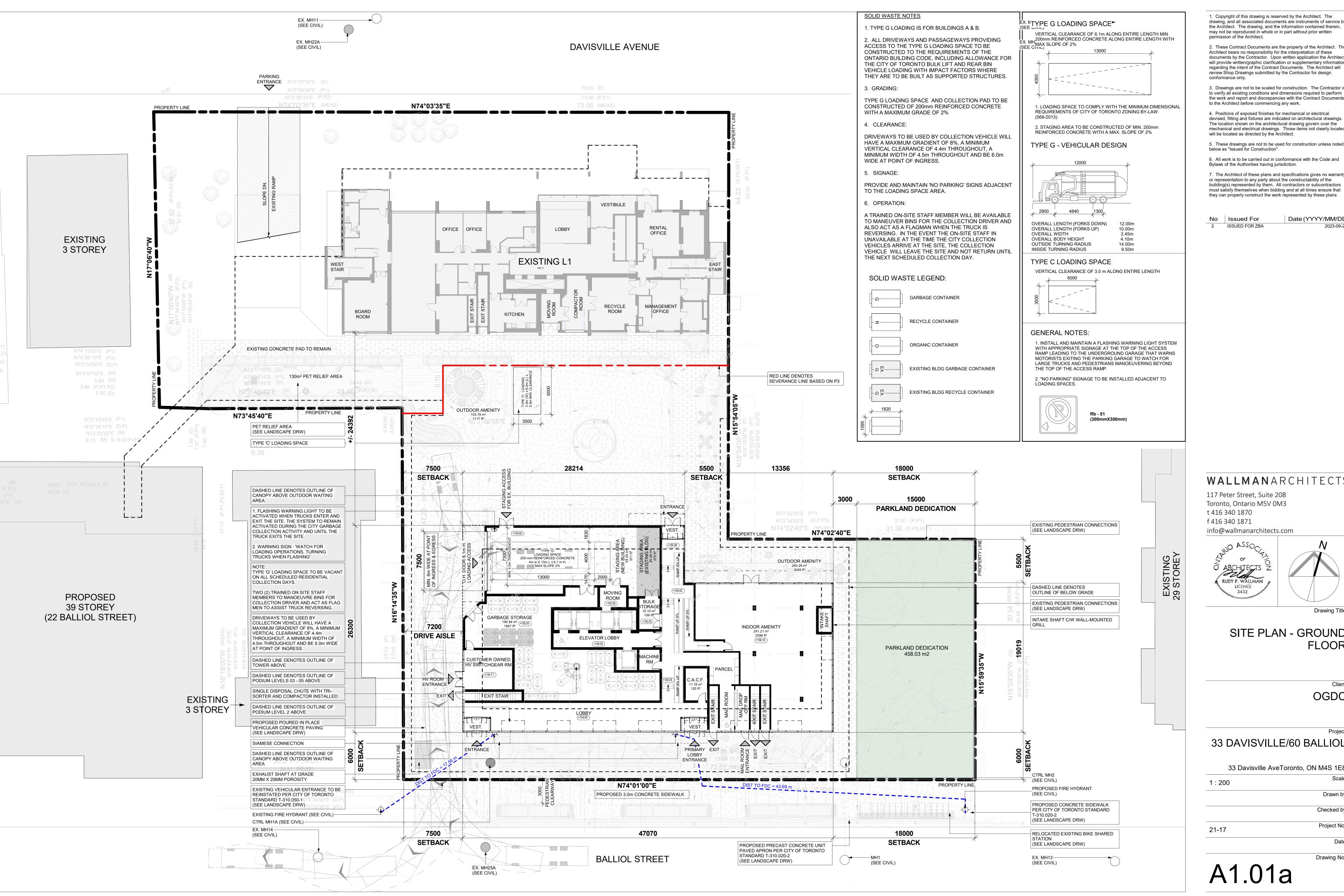
Drawing No.

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33 Davisville AveToronto, ON M4S 1E8

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Drawing Title

SITE PLAN - GROUND

OGDC

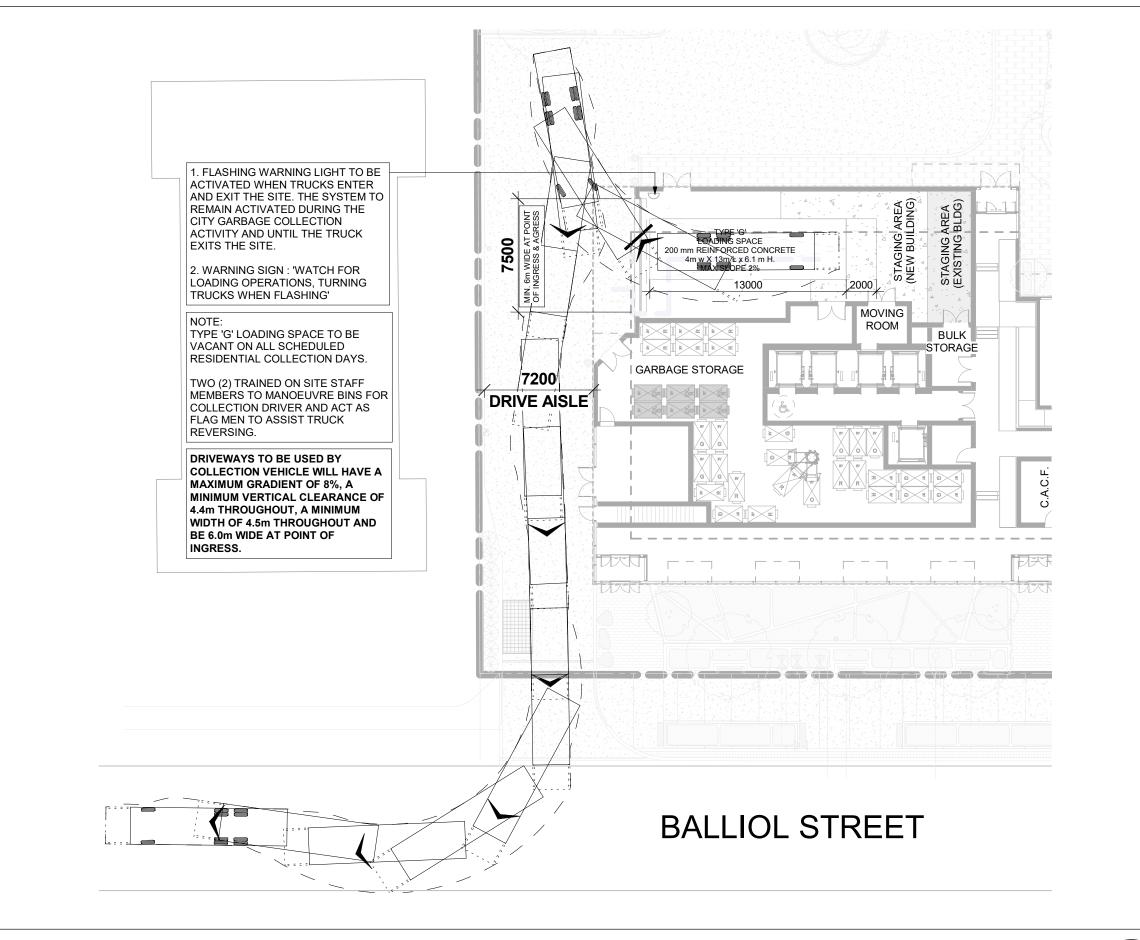
33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

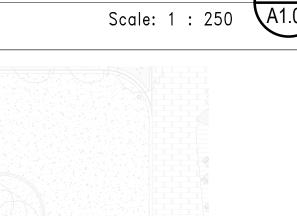
1:200 Drawn by

> Checked by Project No.

> > Drawing No.



TYPE "G" LOADING - GARBAGE TRUCK OUTBOUND

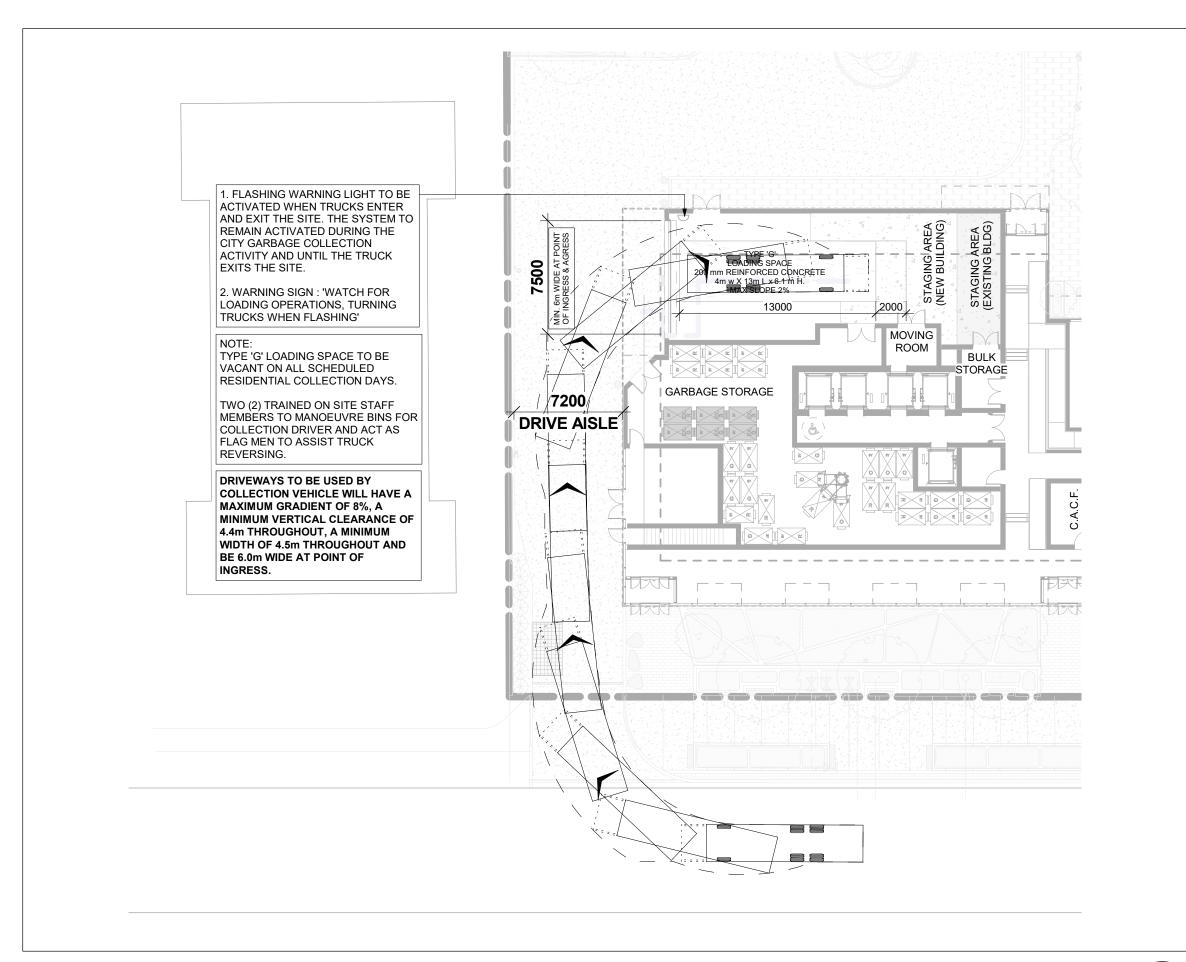


LOADING SPACE
200 mm REINFORCED CONCRETE
4m w X 13m L x 6.1 m H.
MAX SLOPE 2% MOVING ROOM BULK | GARBAGE STORAGE **EXISTING** 3 STOREY **BALLIOL STREET**

TYPE "C" LOADING - OUTBOUND

Scale: 1: 250

A1.06



EXISTING

3 STOREY

TYPE "G" LOADING - GARBAGE TRUCK INBOUND

LOADING SPACE 200 mm REINFORCED CONCRETE

4m w X 13m L x 6.1 m H. MAX SLOPE 2%

GARBAGE STORAGE

MOVING

ROOM

Scale: 1 : 250

SOLID WASTE NOTES 1. TYPE G LOADING IS FOR BUILDINGS A & B.

2. ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE

ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.

TYPE G LOADING SPACE AND COLLECTION PAD TO BE CONSTRUCTED OF 200mm REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%

4. CLEARANCE:

DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A

REVERSING. IN THE EVENT THE ON-SITE STAFF IN

SOLID WASTE LEGEND:

EXISTING BLDG GARBAGE CONTAINER

TYPE G LOADING SPACE VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN. 200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH MAX SLOPE OF 2% 1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW 2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm REINFORCED CONCRETE WITH A MAX. SLOPE OF 2% TYPE G - VEHICULAR DESIGN

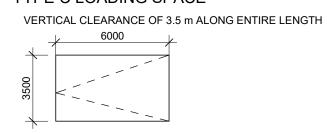
OVERALL LENGTH (FORKS DOWN) OVERALL LENGTH (FORKS UP) 2.45m

4.10m

9.50m

14.00m

TYPE C LOADING SPACE



OVERALL BODY HEIGHT

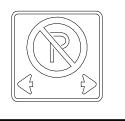
OUTSIDE TURNING RADIUS

INSIDE TURNING RADIUS

GENERAL NOTES:

1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND THE TOP OF THE ACCESS RAMP.

2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO LOADING SPACES.



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ARCHITECTS

RUDY P. WALLMAN
LICENCE
3432

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4. Positions of exposed finishes for mechanical or electrical devised, fitting and fixtures are indicated on architectural drawings.

The location shown on the architectural drawing govern over the

mechanical and electrical drawings. Those items not clearly located

5. These drawings are not to be used for construction unless noted

6. All work is to be carried out in conformance with the Code and

7. The Architect of these plans and specifications gives no warranty

building(s) represented by them. All contractors or subcontractors

must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

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2022-06-03

2023-09-29

or representation to any party about the constructability of the

to the Architect before commencing any work.

will be located as directed by the Architect.

Bylaws of the Authorities having jurisdiction.

below as "Issued for Construction".

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3. GRADING:

MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.

5. SIGNAGE:

PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.

6. OPERATION:

A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

GARBAGE CONTAINER RECYCLE CONTAINER ORGANIC CONTAINER

EXISTING BLDG RECYCLE CONTAINER

33 DAVISVILLE/60 BALLIOL 33 Davisville AveToronto, ON M4S 1E8

MANOEUVERING

DIAGRAMS -1

Drawing Title

OGDC

Drawing No.

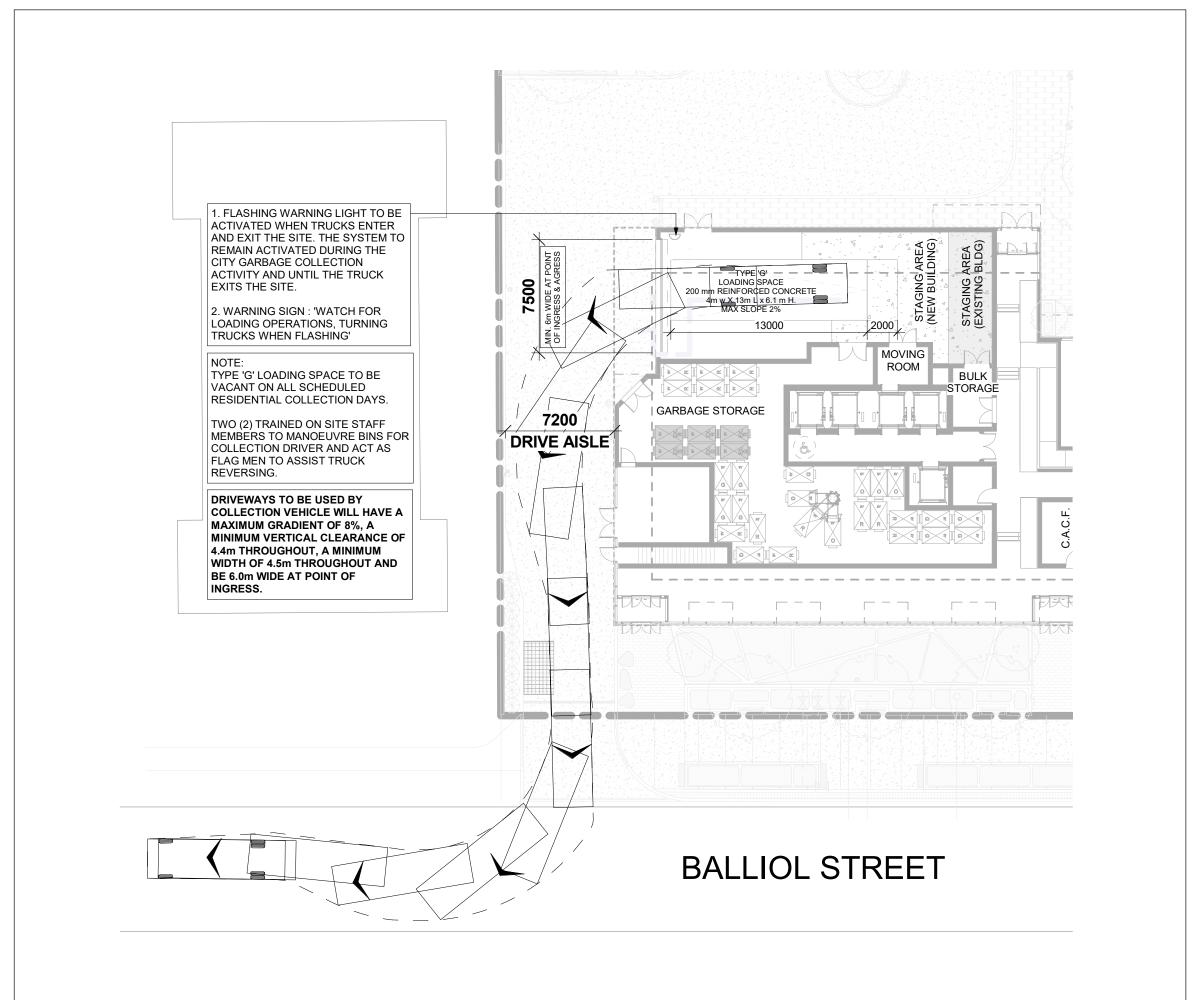
1:250 Drawn by Checked by Project No. 21-17

A1.06

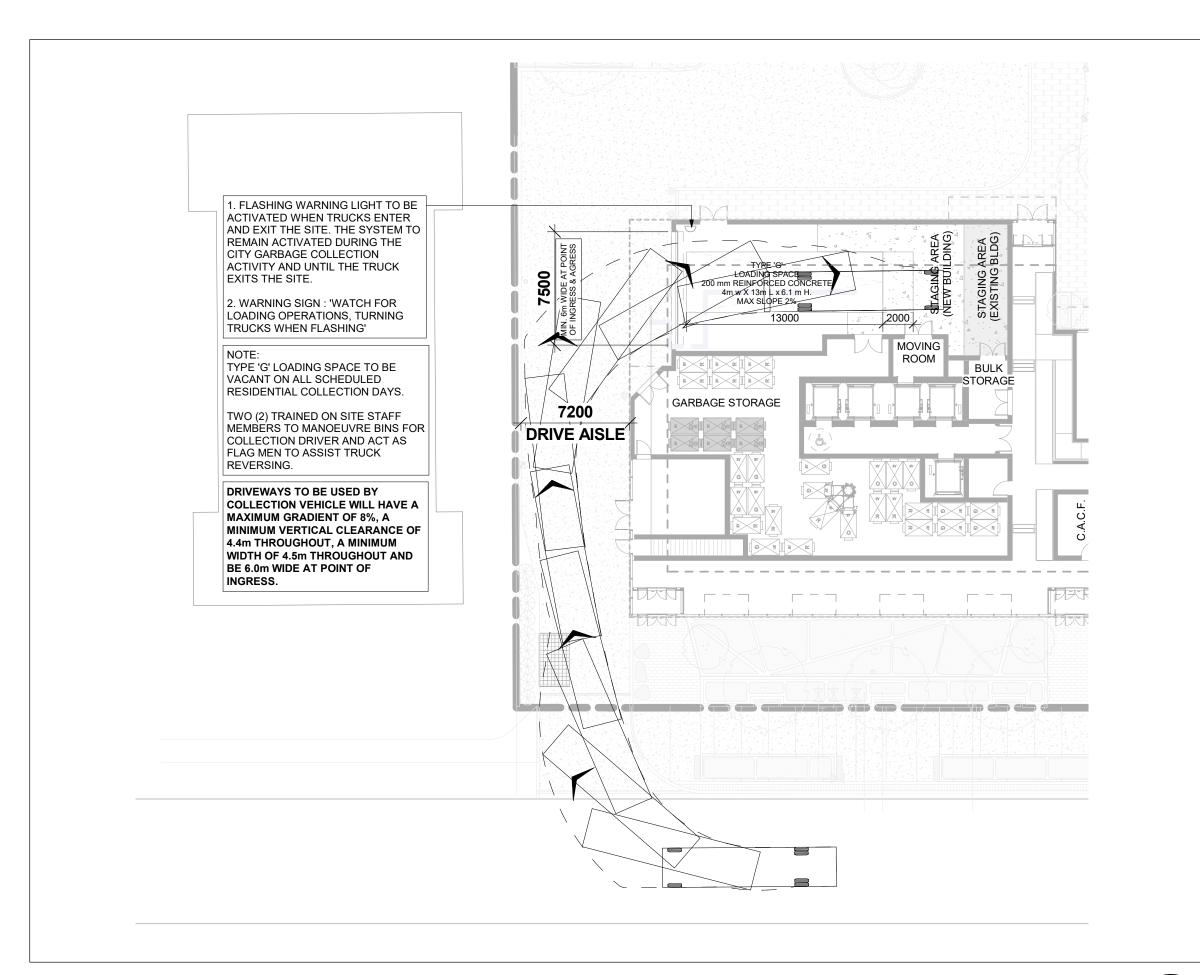
TYPE "C" LOADING - INBOUND
Scale: 1 : 250 A1.06











HEAVY SINGLE UNIT TRUCK INBOUND

THE TOP OF THE ACCESS RAMP.

TYPE G LOADING SPACE

MAX SLOPE OF 2%

VERTICAL CLEARANCE OF 6.1m ALONG ENTIRE LENGTH MIN.

200mm REINFORCED CONCRETE ALONG ENTIRE LENGTH WITH

1. LOADING SPACE TO COMPLY WITH THE MINIMUM DIMENSIONAL

2.45m

4.10m

14.00m

9.50m

REQUIREMENTS OF CITY OF TORONTO ZONING BY-LAW

2. STAGING AREA TO BE CONSTRUCTED OF MIN. 200mm

REINFORCED CONCRETE WITH A MAX. SLOPE OF 2%

TYPE G - VEHICULAR DESIGN

OVERALL LENGTH (FORKS DOWN)

TYPE C LOADING SPACE

OVERALL LENGTH (FORKS UP)

OVERALL BODY HEIGHT

OUTSIDE TURNING RADIUS

INSIDE TURNING RADIUS

GENERAL NOTES:

LOADING SPACES.

VERTICAL CLEARANCE OF 3.5 m ALONG ENTIRE LENGTH 1. INSTALL AND MAINTAIN A FLASHING WARNING LIGHT SYSTEM WITH APPROPRIATE SIGNAGE AT THE TOP OF THE ACCESS RAMP LEADING TO THE UNDERGROUND GARAGE THAT WARNS MOTORISTS EXITING THE PARKING GARAGE TO WATCH FOR LARGE TRUCKS AND PEDESTRIANS MANOEUVERING BEYOND 2. "NO PARKING" SIGNAGE TO BE INSTALLED ADJACENT TO

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5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

to the Architect before commencing any work.

7. The Architect of these plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

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SOLID WASTE NOTES

1. TYPE G LOADING IS FOR BUILDINGS A & B.

2. ALL DRIVEWAYS AND PASSAGEWAYS PROVIDING ACCESS TO THE TYPE G LOADING SPACE TO BE CONSTRUCTED TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, INCLUDING ALLOWANCE FOR THE CITY OF TORONTO BULK LIFT AND REAR BIN VEHICLE LOADING WITH IMPACT FACTORS WHERE THEY ARE TO BE BUILT AS SUPPORTED STRUCTURES.

3. GRADING:

TYPE G LOADING SPACE AND COLLECTION PAD TO BE CONSTRUCTED OF 200mm REINFORCED CONCRETE WITH A MAXIMUM GRADE OF 2%

4. CLEARANCE:

DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m

5. SIGNAGE:

PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT

TO THE LOADING SPACE AREA.

WIDE AT POINT OF INGRESS.

6. OPERATION: A TRAINED ON-SITE STAFF MEMBER WILL BE AVAILABLE TO MANEUVER BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF IN UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVE AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL THE NEXT SCHEDULED COLLECTION DAY.

SOLID WASTE LEGEND:

GARBAGE CONTAINER

RECYCLE CONTAINER ORGANIC CONTAINER EXISTING BLDG GARBAGE CONTAINER EXISTING BLDG RECYCLE CONTAINER

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Drawing Title

MANOEUVERING DIAGRAMS -2

OGDC

33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

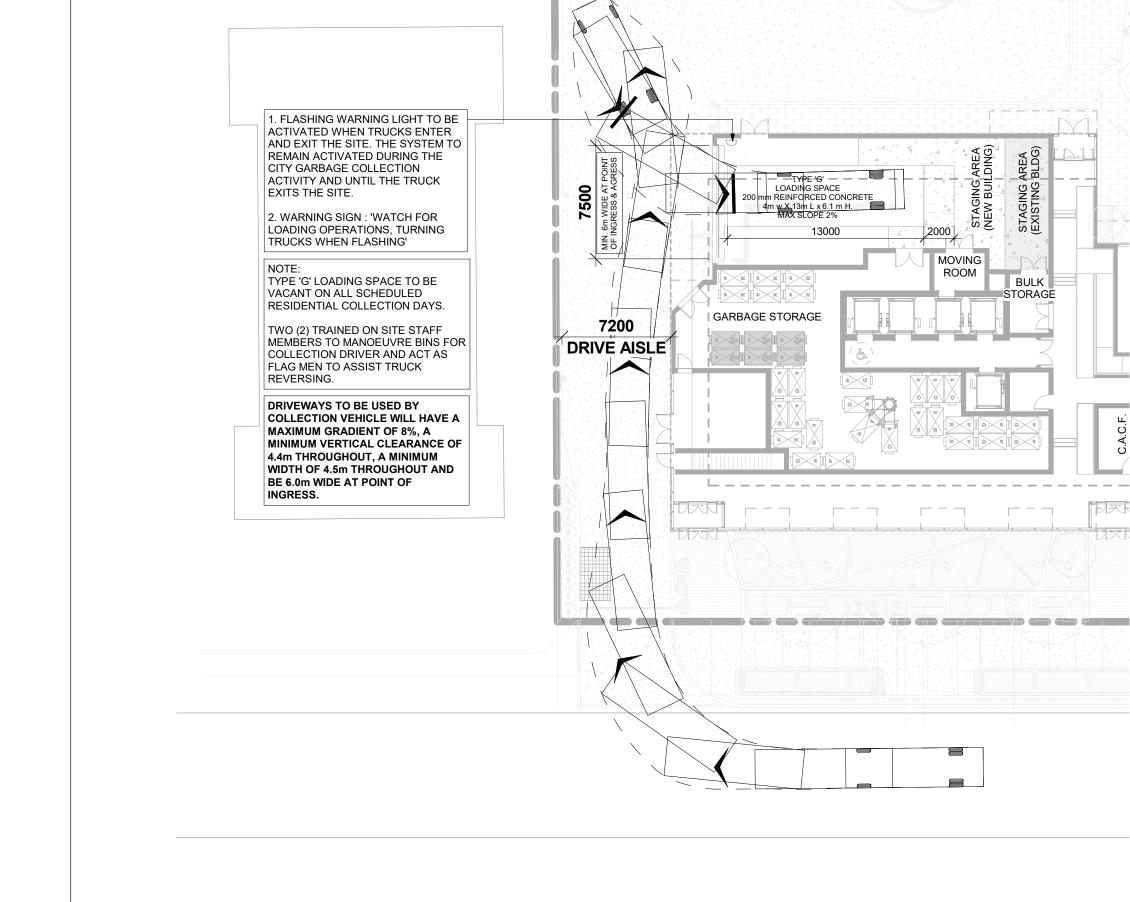
1:250 Drawn by Checked by

Project No.

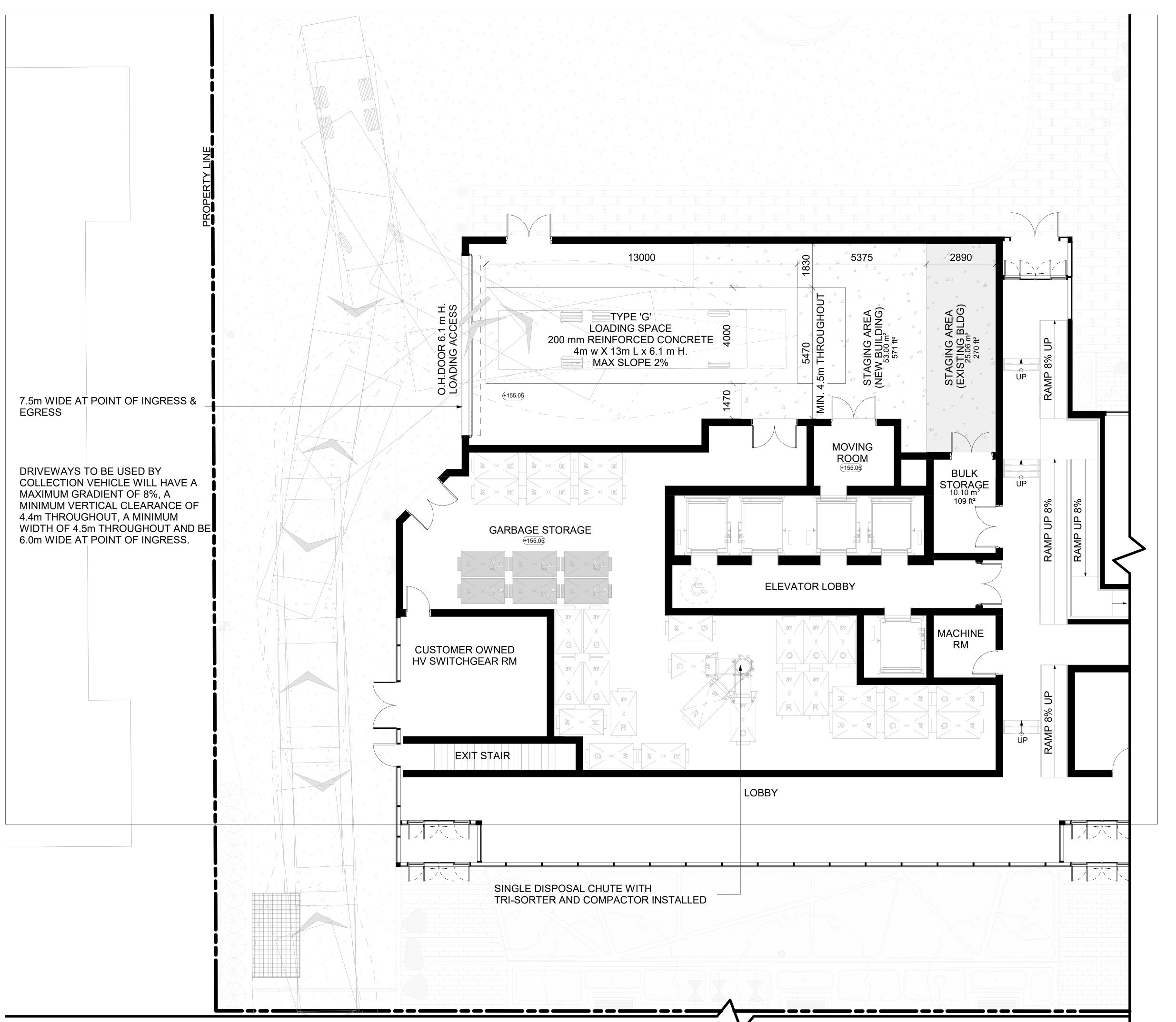
Drawing No.

A1.07

21-17



TAC SU (SINGLE UNIT TRUCK) INBOUND



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3. GRADING:

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DRIVEWAYS TO BE USED BY COLLECTION VEHICLE WILL HAVE A MAXIMUM GRADIENT OF 8%, A MINIMUM VERTICAL CLEARANCE OF 4.4m THROUGHOUT, A MINIMUM WIDTH OF 4.5m THROUGHOUT AND BE 6.0m WIDE AT POINT OF INGRESS.

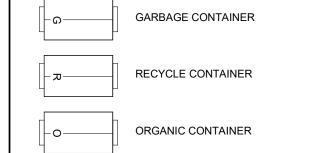
5. SIGNAGE:

PROVIDE AND MAINTAIN 'NO PARKING' SIGNS ADJACENT TO THE LOADING SPACE AREA.

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SOLID WASTE LEGEND:



EXISTING BLDG GARBAGE CONTAINER

EXISTING BLDG RECYCLE CONTAINER

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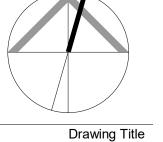
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WASTE MANAGEMENT

Client

33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

1 : 75

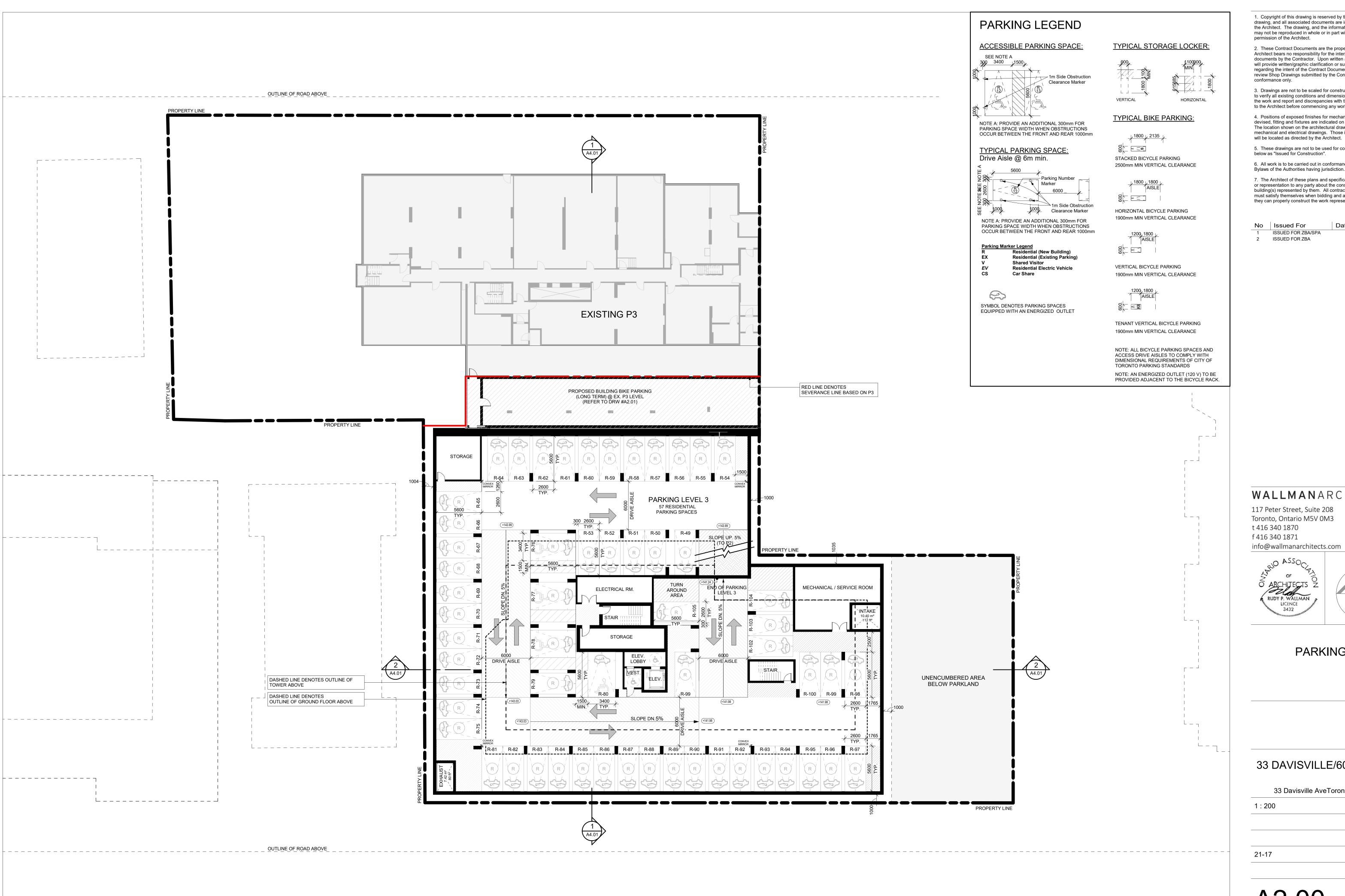
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Drawing No.

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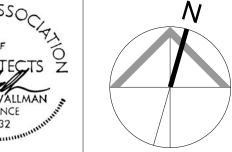
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PARKING LEVEL 3

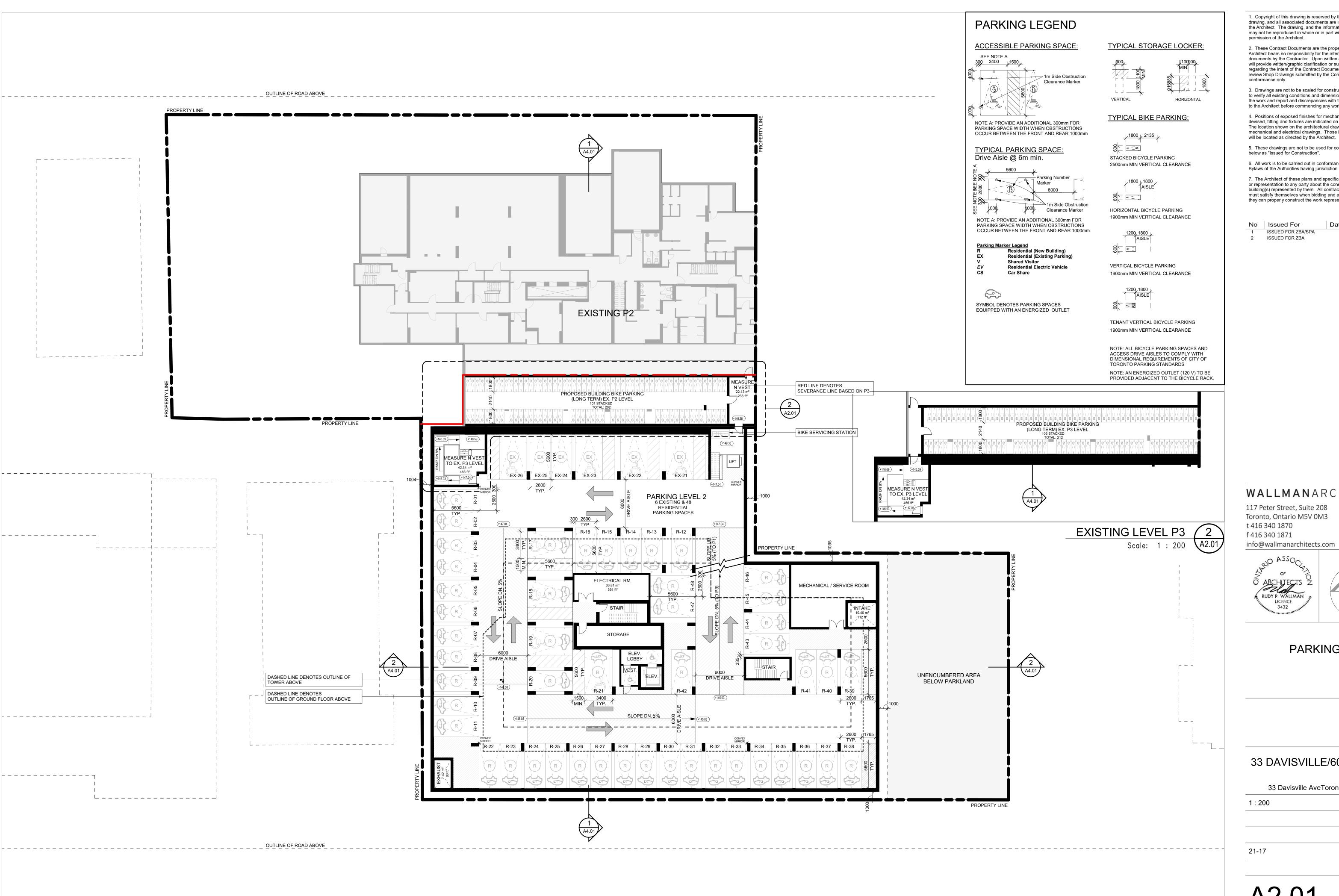
33 DAVISVILLE/60 BALLIOL

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Drawing No.



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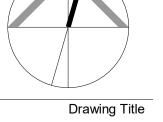
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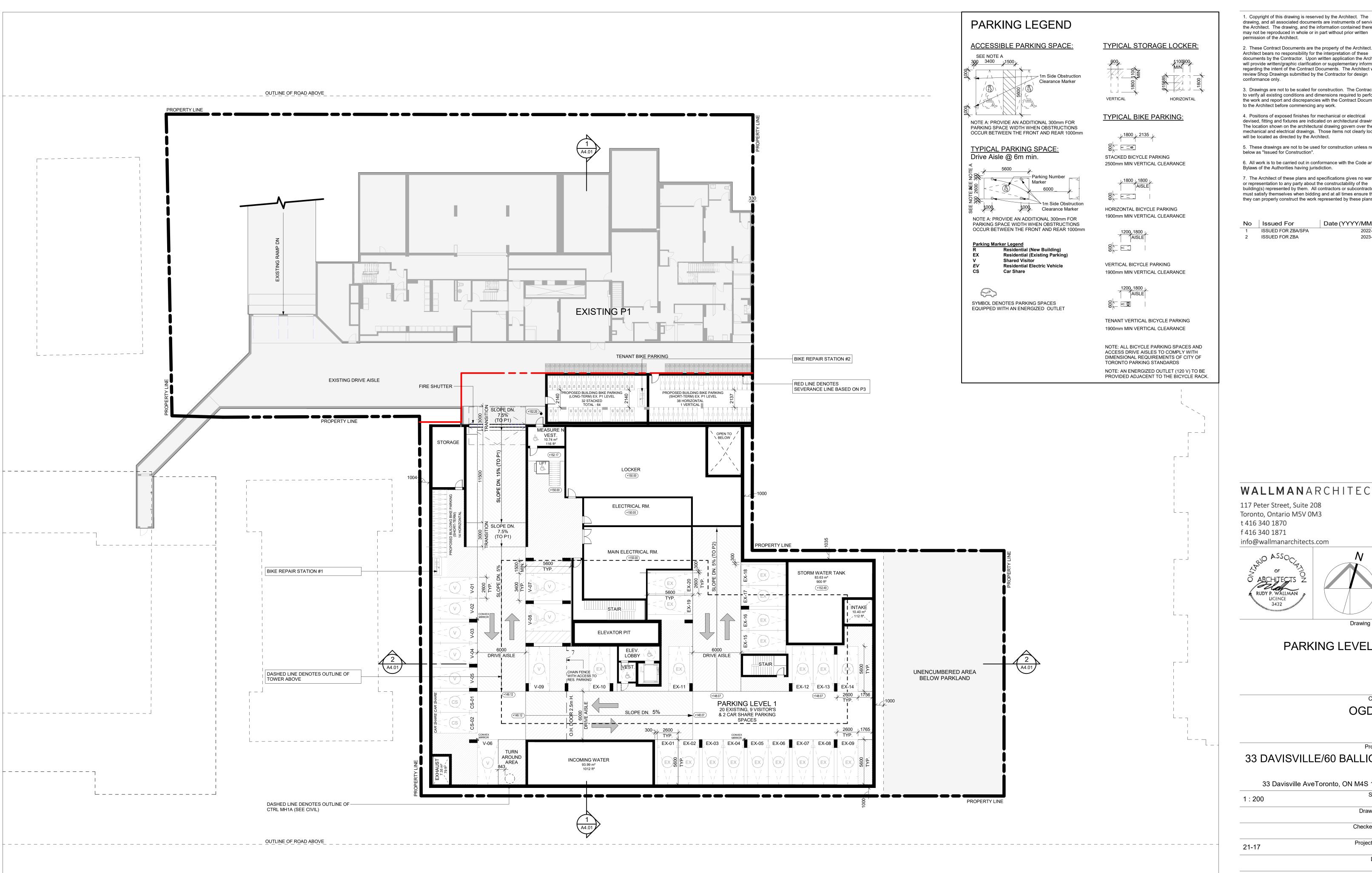
33 DAVISVILLE/60 BALLIOL

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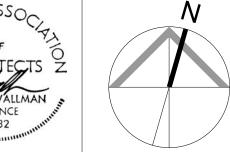
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PARKING LEVEL 1

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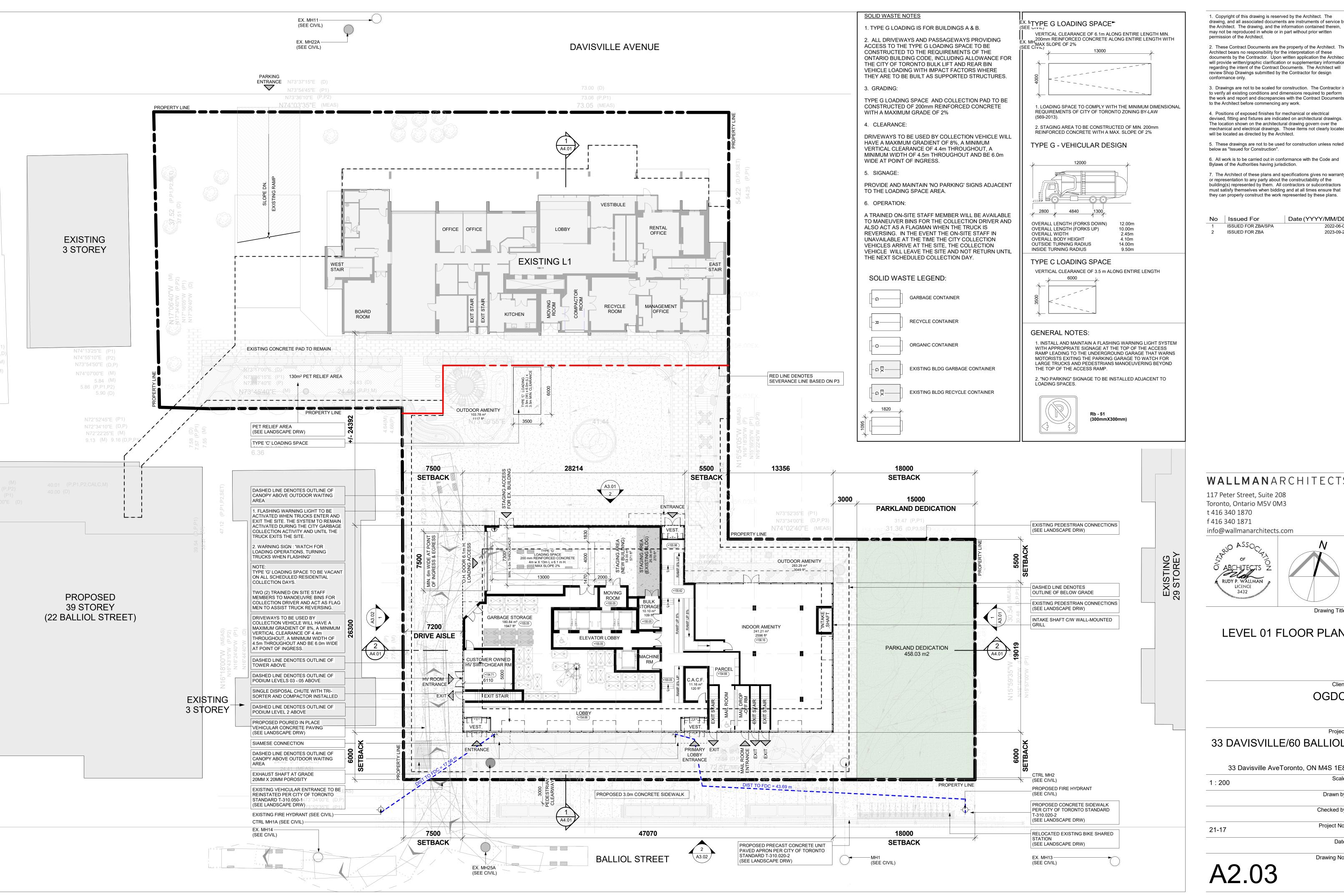
33 Davisville AveToronto, ON M4S 1E8

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Drawing No.

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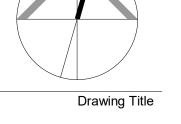
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LEVEL 01 FLOOR PLAN

OGDC

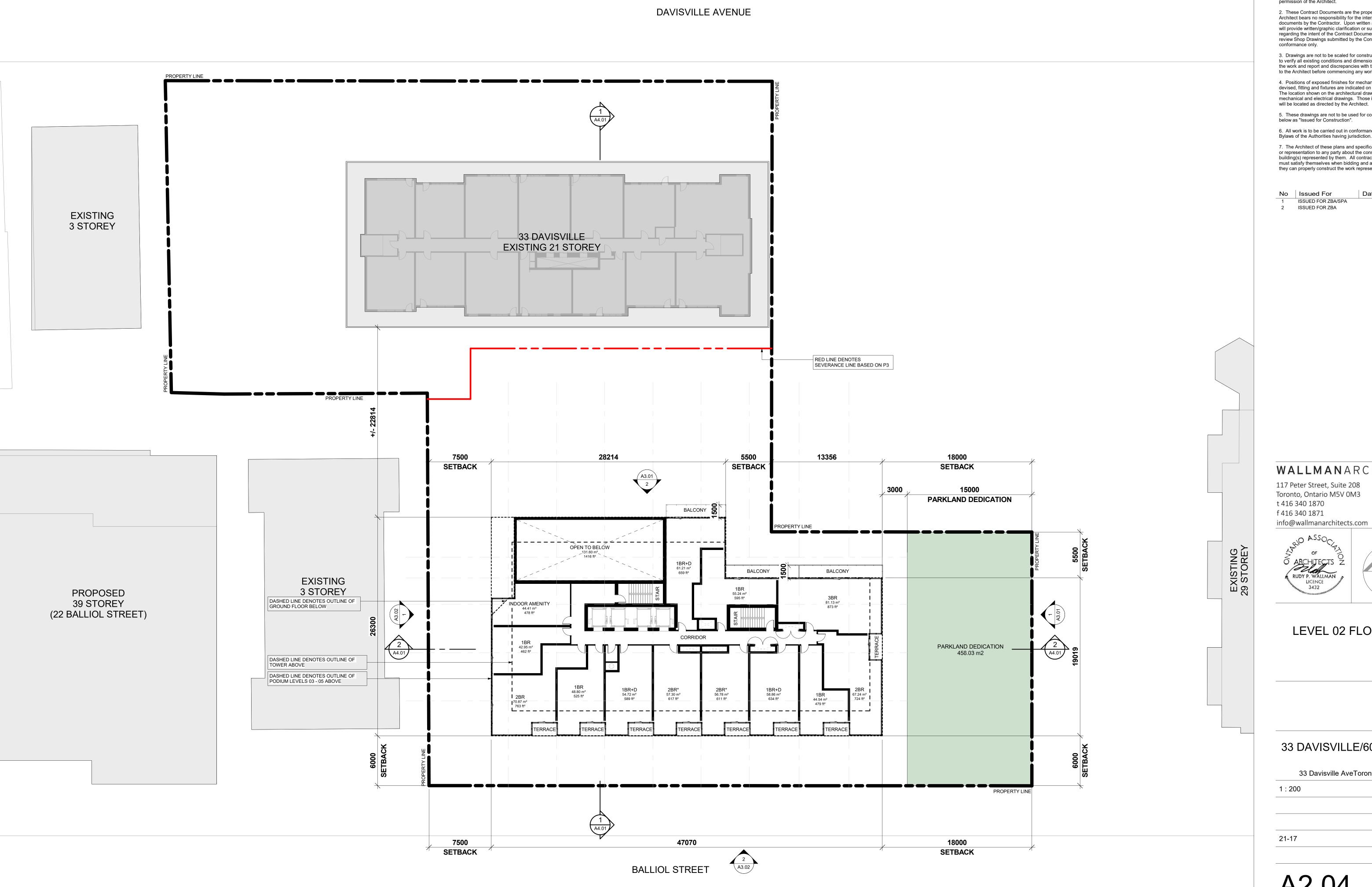
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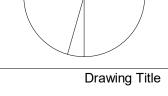
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LEVEL 02 FLOOR PLAN

OGDC

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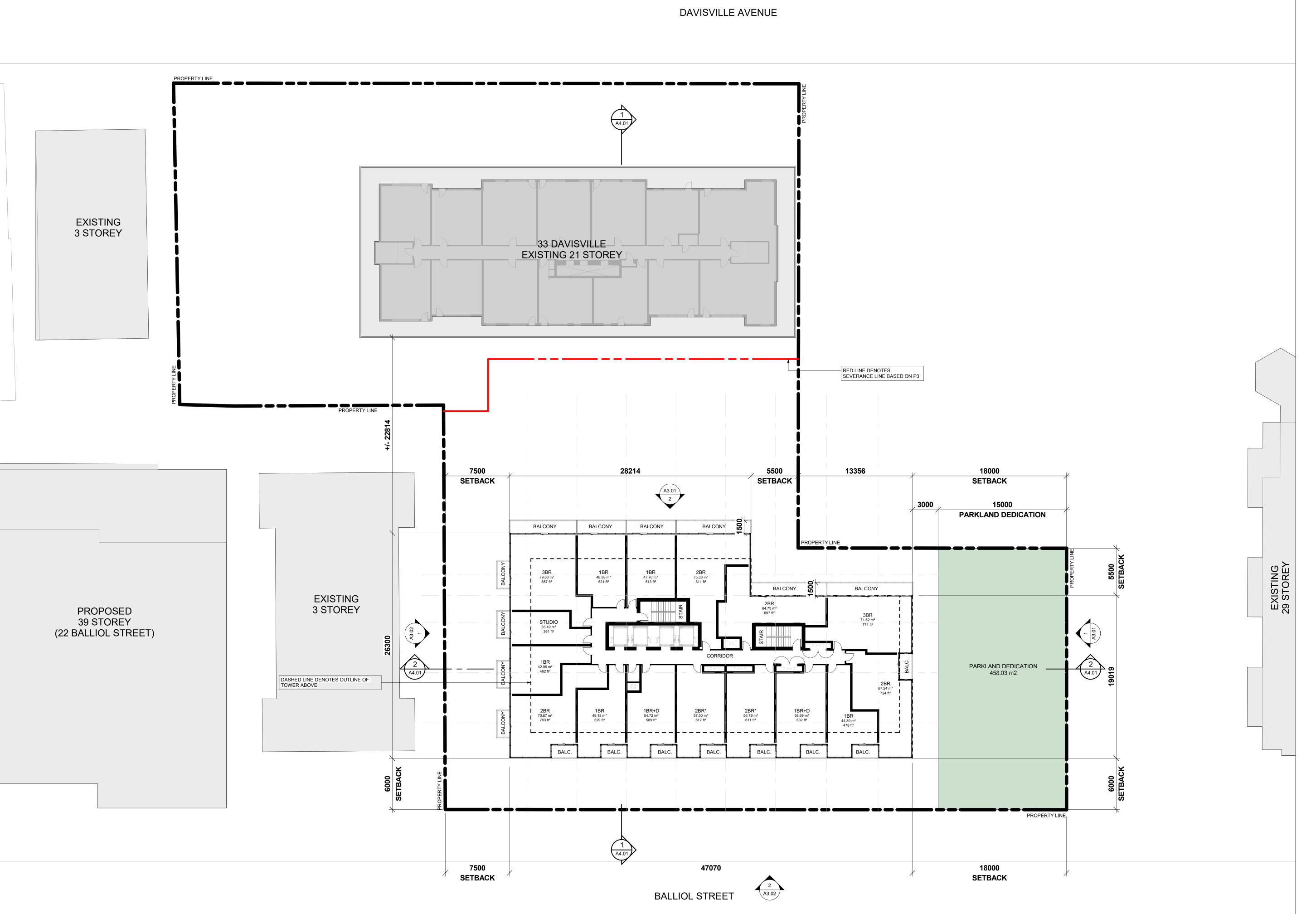
Drawing No.

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33 Davisville AveToronto, ON M4S 1E8

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Project No. 21-17



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 No
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 2022-06-03

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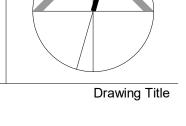
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info@wallmanarchitects.com





LEVEL 03 - 04 FLOOR PLAN

Client OGDC

Drawing No.

Project
33 DAVISVILLE/60 BALLIOL

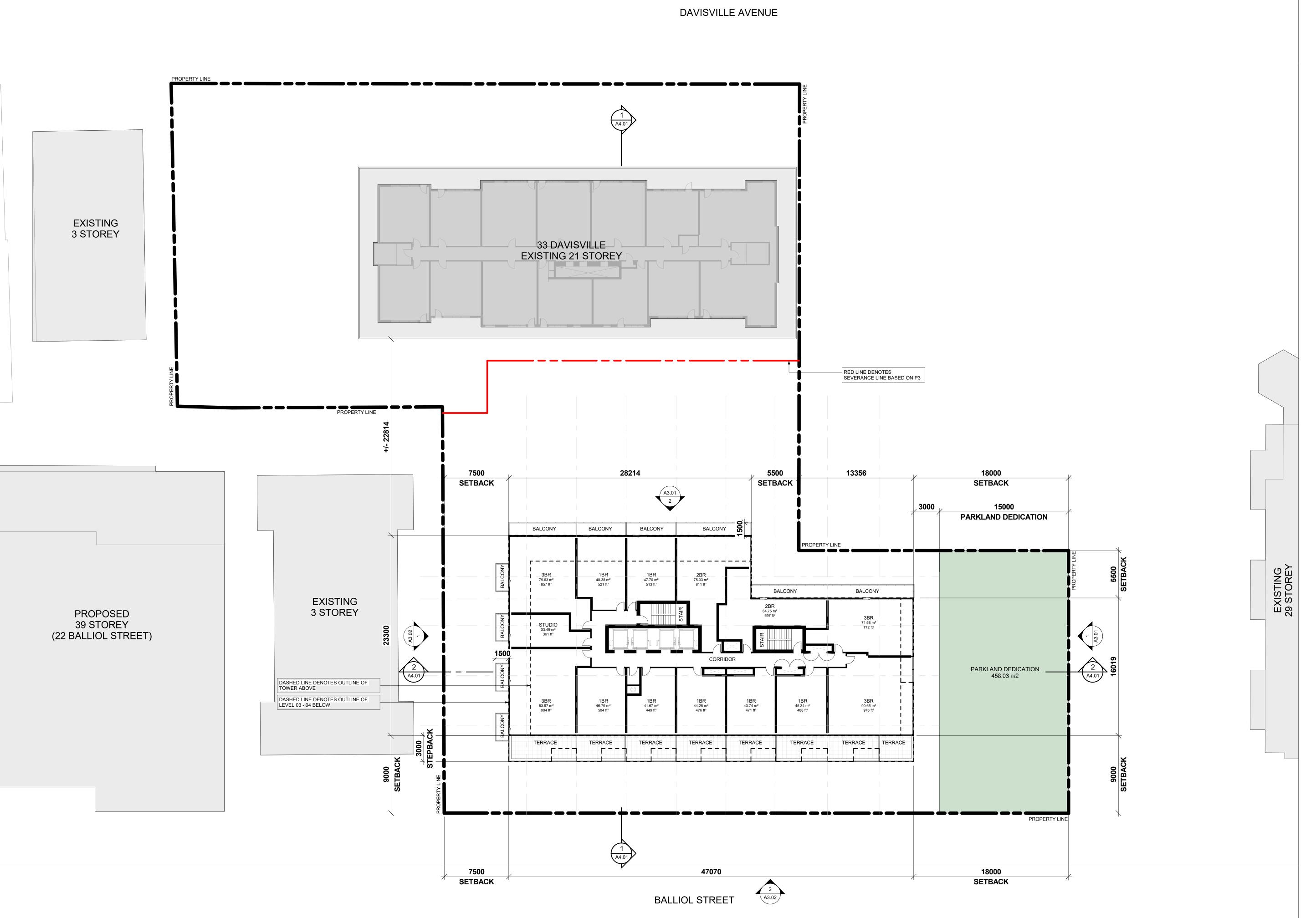
33 Davisville AveToronto, ON M4S 1E8

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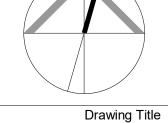
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LEVEL 05 FLOOR PLAN

OGDC

Drawing No.

33 DAVISVILLE/60 BALLIOL

33 Davisville AveToronto, ON M4S 1E8

1 : 200 Scale

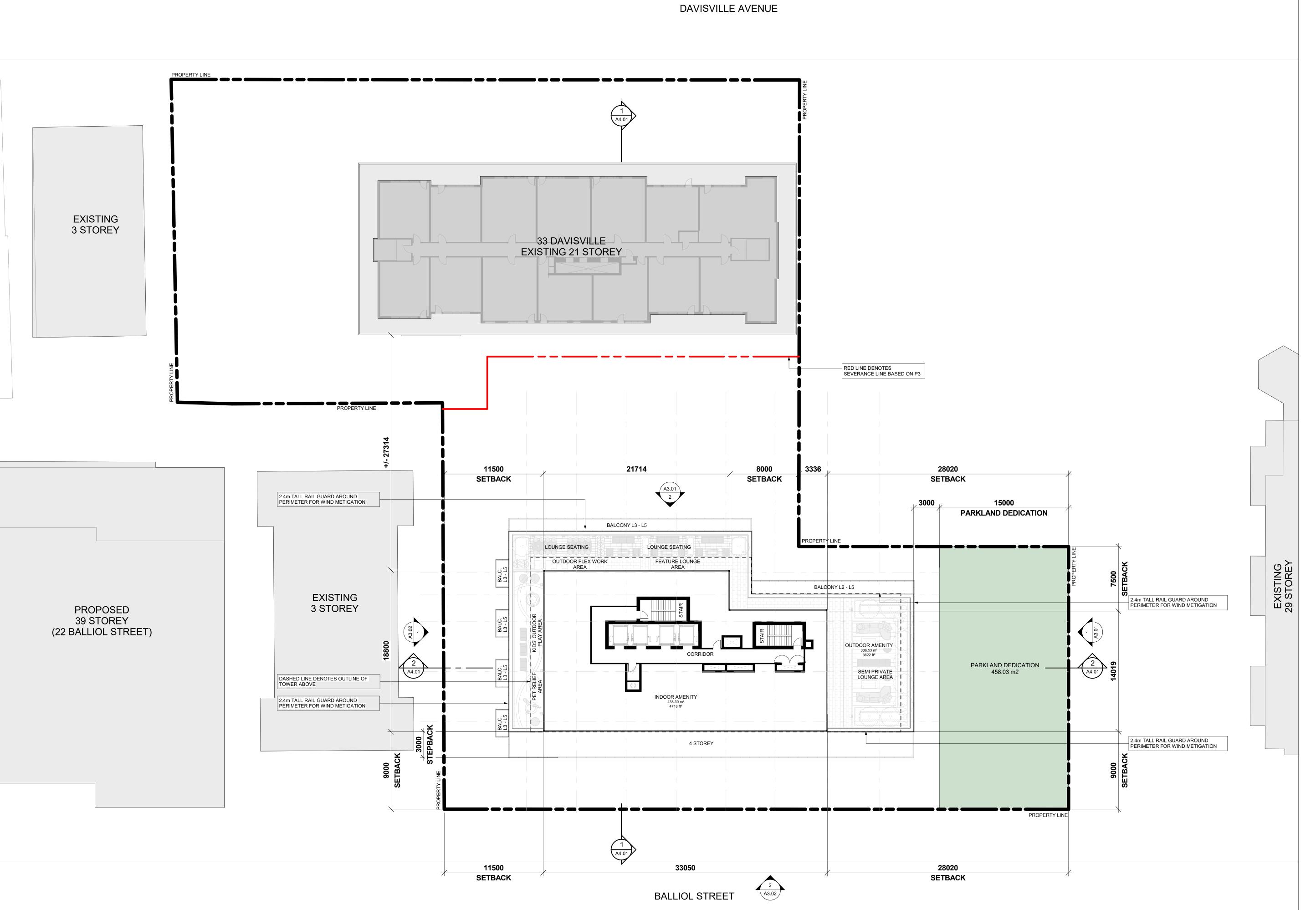
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Project No.

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LEVEL 06 FLOOR PLAN

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Drawing Title

LEVEL 07 - 19, 22 - 23 FLOOR PLAN

OGDC

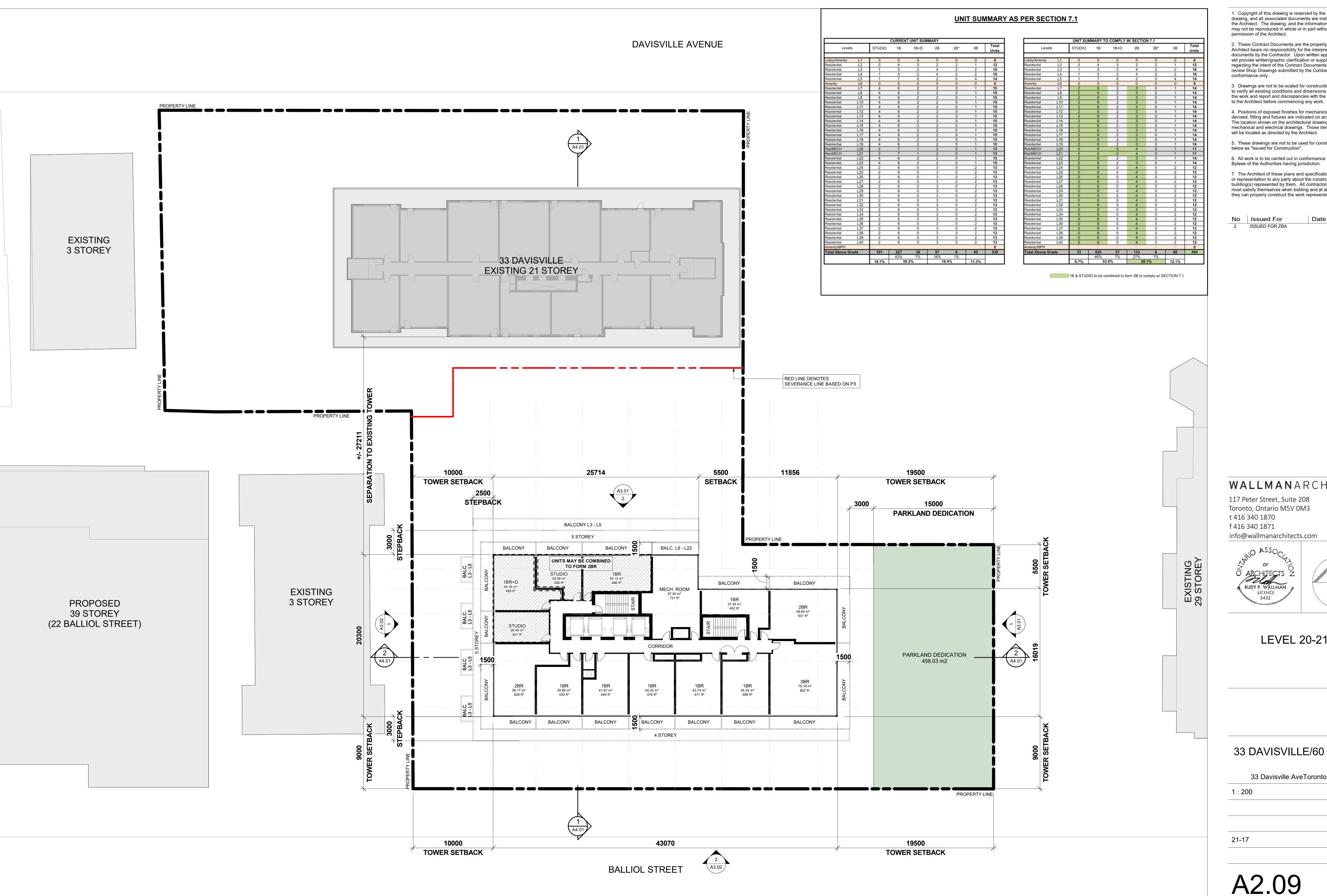
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Drawing No.



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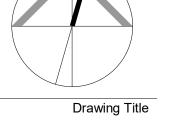
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LEVEL 20-21 FLOOR PLAN

OGDC

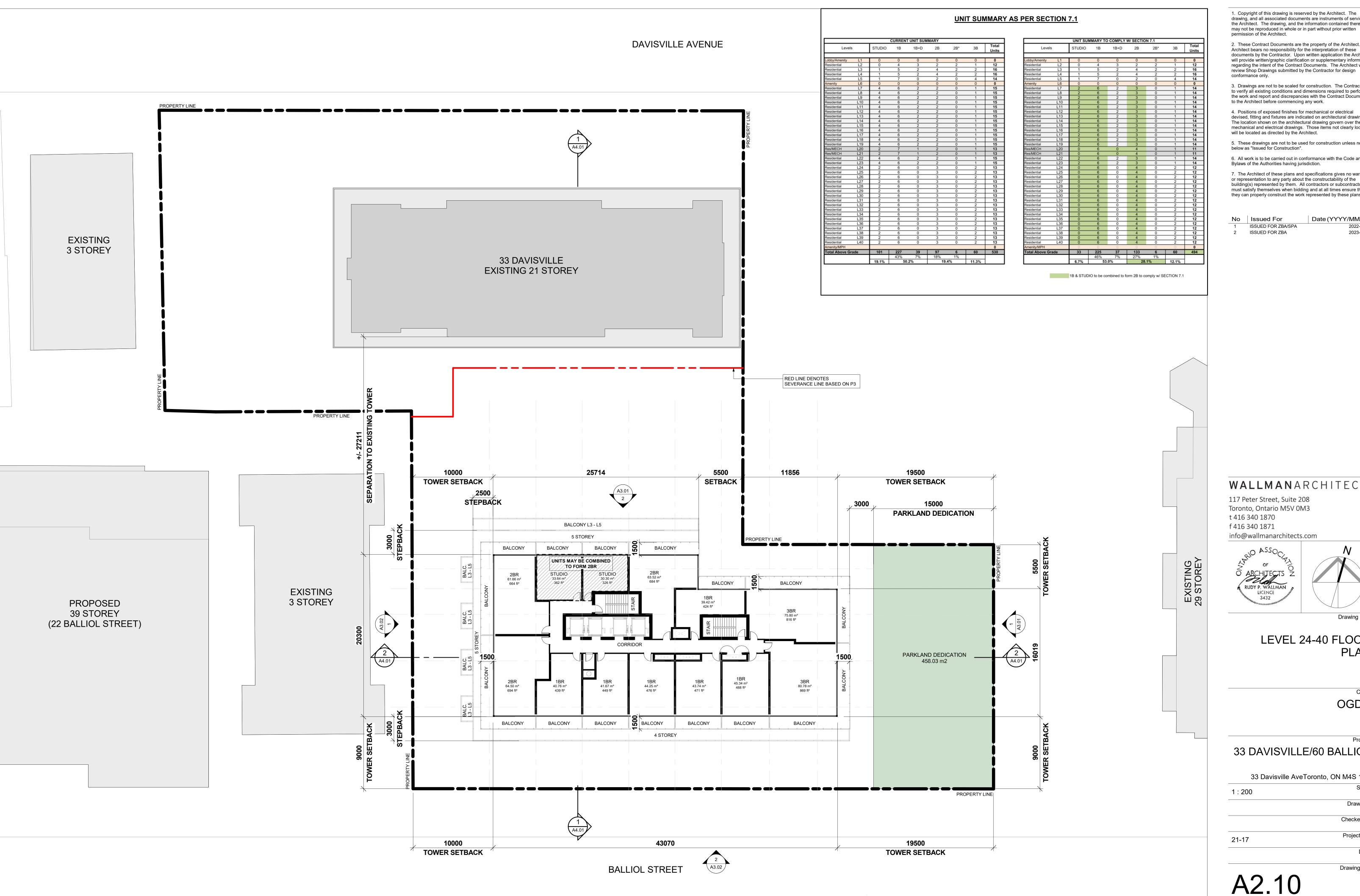
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Drawing Title

LEVEL 24-40 FLOOR PLAN

OGDC

33 DAVISVILLE/60 BALLIOL

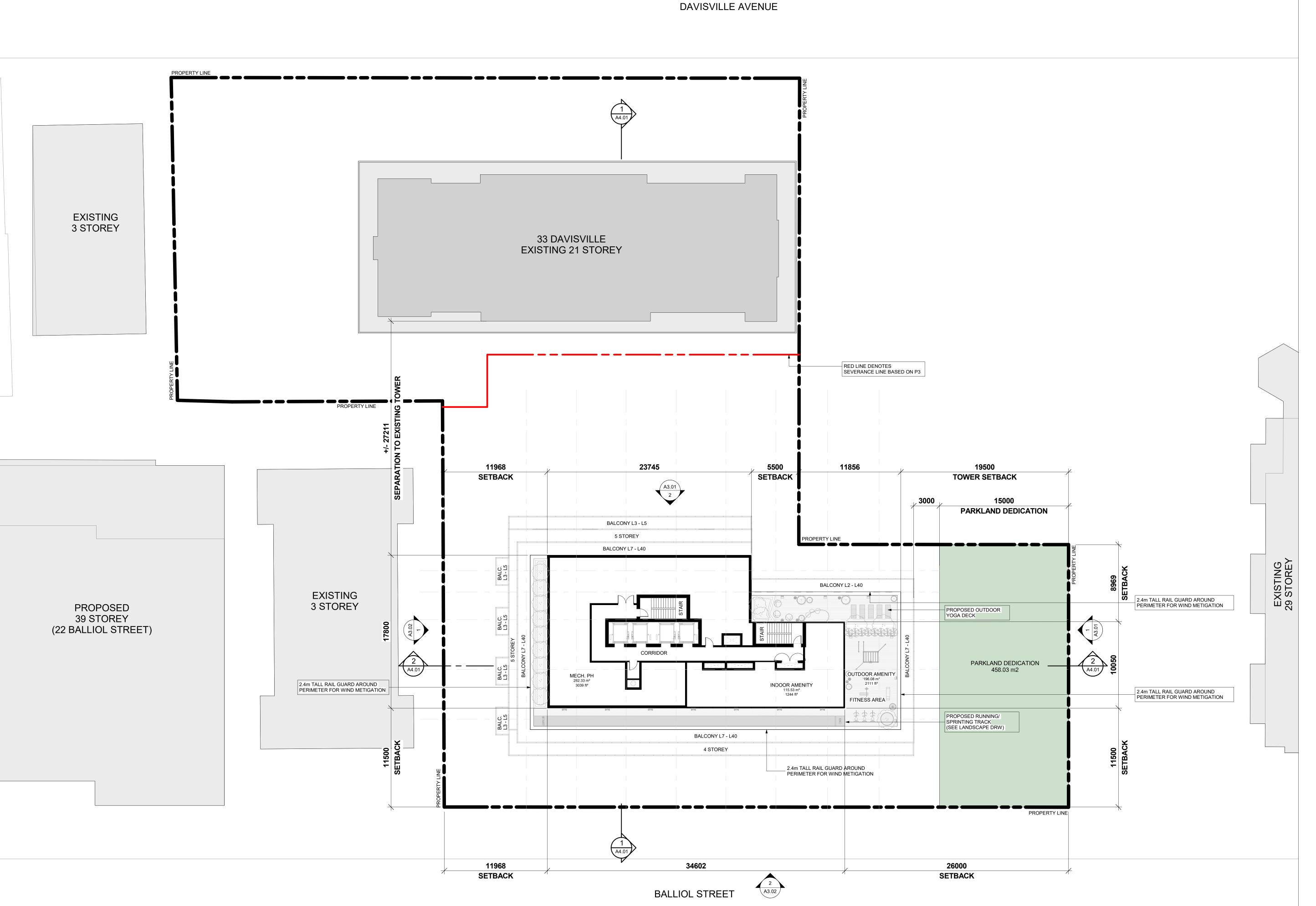
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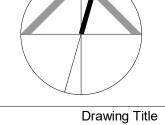
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MPH FLOOR PLAN

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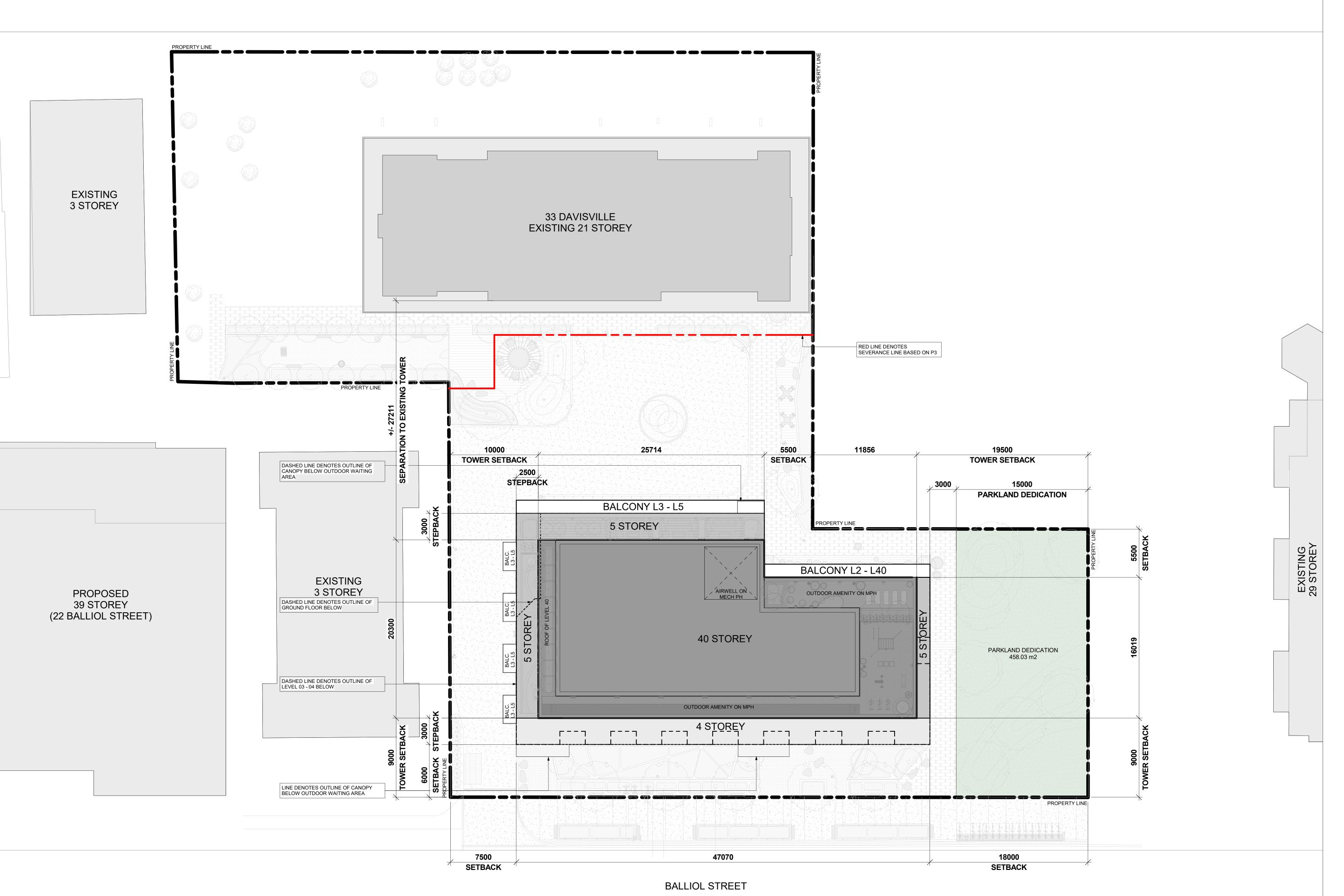
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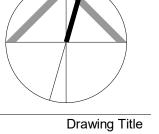
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ROOF PLAN

Client OGDC

Drawing No.

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